

PLAN FORM 6_E (2020)	DEPOSITED PLAN ADMINISTRATION SHEET	Sheet 1 of 6 sheet(s)
<p style="text-align: right;">Office Use Only</p> Registered: Title System: TORRENS		<p style="text-align: right;">Office Use Only</p> <h1 style="text-align: center;">DP 1296584</h1>
PLAN OF SUBDIVISION OF LOT 3 DP1297783 AND EASEMENTS OVER LOT 1916 D.P. 1290691		LGA: HAWKESBURY Locality: NORTH RICHMOND Parish: KURRAJONG County: COOK
<p style="text-align: center;">Survey Certificate</p> I, PETER ROBERT WARWICK of VINCE MORGAN SURVEYORS PTY LTD a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i> , certify that: (a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i> , is accurate and the survey was completed on (b) Partial Survey (c) Compilation Datum Line: A - B Type: Urban <input checked="" type="checkbox"/> Rural <input type="checkbox"/> Signature: _____ Dated: _____ Surveyor Identification No: 2207 Surveyor registered under the <i>Surveying and Spatial Information Act 2002</i>		<p style="text-align: center;">Grown Lands NSW/Western Lands Office Approval</p> <p style="text-align: center;">I, _____ (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given.</p> Signature: _____ Date: _____ File Number: _____ Office: _____
<p style="text-align: center;">Subdivision Certificate</p> I, _____ Authorised Person certify that the provisions of section 6.15 of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein. Signature: _____ Consent Authority: Date of endorsement: Subdivision Certificate number: File number:		
Plans used in the preparation of survey. DP1266753 DP1297783 DP1290691		Statements of intention to dedicate public roads, create public reserves and drainage reserves, acquire/resume land. IT IS INTENDED TO DEDICATE KOOKABURRA CRESCENT, ROSELLA ROAD, THE EXTENSION OF PLOUGHMANS BOULEVARD AND THE SPLAY CORNERS TO THE PUBLIC AS PUBLIC ROAD
Surveyor's Reference: 16800-SV-1C		Signatures, Seals and Section 88B Statements should appear on the following sheet(s)

Office Use Only	Office Use Only
Registered:	<h1>DP 1296584</h1>
PLAN OF SUBDIVISION OF LOT 3 DP1297783 AND EASEMENTS OVER LOT 1916 D.P. 1290691	
Subdivision Certificate number: Date of Endorsement:	
This sheet is for the provision of the following information as required: <ul style="list-style-type: none"> • A schedule of lots and addresses - See 60(c) <i>SSI Regulation 2017</i> • Statements of intention to create and release affecting interests in accordance with section 88B <i>Conveyancing Act 1919</i> • Signatures and seals- see 195D <i>Conveyancing Act 1919</i> • Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets. 	

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT 1919, AS AMENDED, IT IS INTENDED TO;

CREATE:

1. POSITIVE COVENANT
2. RESTRICTION ON THE USE OF LAND
3. POSITIVE COVENANT
4. POSITIVE COVENANT
5. RESTRICTION ON THE USE OF LAND
6. RESTRICTION ON THE USE OF LAND
7. RESTRICTION ON THE USE OF LAND
8. EASEMENT TO DRAIN WATER 1 WIDE (E4)
9. RESTRICTION ON THE USE OF LAND (R1)
10. RESTRICTION ON THE USE OF LAND (R2)
11. EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE (E5)
12. EASEMENT TO DRAIN WATER 1.7 WIDE (E2)
13. EASEMENT TO DRAIN WATER 1.5 WIDE (E3)
14. EASEMENT FOR RETAINING WALL SUPPORT 1.5 WIDE (E1)
15. EASEMENT FOR RETAINING WALL SUPPORT 1.5 WIDE (E10)

RELEASE:

1. RIGHT OF ACCESS 10 WIDE (E2) (DP1266750)

If space is insufficient use additional annexure sheet

Office Use Only

Office Use Only

Registered:

DP 1296584

PLAN OF SUBDIVISION

OF LOT 3 DP1297783 AND EASEMENTS OVER
LOT 1916 D.P. 1290691

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) *SSI Regulation 2017*
 - Statements of intention to create and release affecting interests in accordance with section 88B *Conveyancing Act 1919*
 - Signatures and seals- see 195D *Conveyancing Act 1919*
 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate number:

Date of Endorsement:

Lot Number	Sub-Address Number	Address Number	Road Name	Road Type	Locality Name
2101			PLOUGHMANS	BOULEVARD	NORTH RICHMOND
2102			PLOUGHMANS	BOULEVARD	NORTH RICHMOND
2103			KOOKABURRA	CRESCENT	NORTH RICHMOND
2104			KOOKABURRA	CRESCENT	NORTH RICHMOND
2105			KOOKABURRA	CRESCENT	NORTH RICHMOND
2106			KOOKABURRA	CRESCENT	NORTH RICHMOND
2107			KOOKABURRA	CRESCENT	NORTH RICHMOND
2108			KOOKABURRA	CRESCENT	NORTH RICHMOND
2109			KOOKABURRA	CRESCENT	NORTH RICHMOND
2110			PLOUGHMANS	BOULEVARD	NORTH RICHMOND
2111			PLOUGHMANS	BOULEVARD	NORTH RICHMOND
2112			KOOKABURRA	CRESCENT	NORTH RICHMOND
2113			KOOKABURRA	CRESCENT	NORTH RICHMOND
2114			KOOKABURRA	CRESCENT	NORTH RICHMOND
2115			KOOKABURRA	CRESCENT	NORTH RICHMOND

If space is insufficient use additional annexure sheet

Surveyor's Reference: 16800-SV-1C

Office Use Only

Office Use Only

Registered:

DP 1296584

PLAN OF SUBDIVISION

OF LOT 3 DP1297783 AND EASEMENTS OVER
LOT 1916 D.P. 1290691

Subdivision Certificate number:

Date of Endorsement:

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses - See 60(c) *SSI Regulation 2017*
- Statements of intention to create and release affecting interests in accordance with section 88B *Conveyancing Act 1919*
- Signatures and seals- see 195D *Conveyancing Act 1919*
- Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Lot Number	Sub-Address Number	Address Number	Road Name	Road Type	Locality Name
2116			KOOKABURRA	CRESCENT	NORTH RICHMOND
2117			KOOKABURRA	CRESCENT	NORTH RICHMOND
2118			KOOKABURRA	CRESCENT	NORTH RICHMOND
2119			KOOKABURRA	CRESCENT	NORTH RICHMOND
2120			ROSELLA	ROAD	NORTH RICHMOND
2121			N/A		NORTH RICHMOND

If space is insufficient use additional annexure sheet

Surveyor's Reference: 16800-SV-1C

Office Use Only

Office Use Only

Registered:

PLAN OF SUBDIVISION
 OF LOT 3 DP1297783 AND EASEMENTS OVER
 LOT 1916 DP1290691

D.P.1296584

Subdivision Certificate number:

Date of Endorsement:

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) *SSI Regulation 2017*
 - Statements of intention to create and release affecting interests in accordance with section 88B *Conveyancing Act 1919*
 - Signatures and seals- see 195D *Conveyancing Act 1919*
 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Signed on behalf of BD NSW (MR) PROJECT
 O007 Pty. Ltd. ACN 123 888 773
 By its duly authorised Attorney
 being duly authorised in this behalf (who by
 their execution warrant that their appointment
 has not been revoked) in the presence of:-

.....
 Signature of witness

.....
 Signature of Attorney

.....
 Name of witness

.....
 Name of Attorney

.....
 Address of witness

Power of Attorney
 dated:
 Book No.

If space is insufficient use additional annexure sheet

Office Use Only

Office Use Only

Registered:

DP 1296584

PLAN OF SUBDIVISION

OF LOT 3 DP1297783 AND EASEMENTS OVER
LOT 1916 D.P. 1290691

Subdivision Certificate number:

Date of Endorsement:

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses - See 60(c) *SSI Regulation 2017*
- Statements of intention to create and release affecting interests in accordance with section 88B *Conveyancing Act 1919*
- Signatures and seals- see 195D *Conveyancing Act 1919*
- Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

National Australia Bank Limited ACN 004 044 937

Executed by its Level.....Attorney.....

Under Power of Attorney No.....

this.....Day of

(By executing this instrument the Attorney states that the Attorney has received no notice of the revocation of the Power of Attorney)

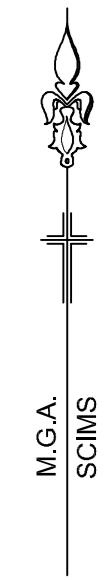
.....
(Signature of Witness)

.....
(Name of Witness)

.....
(Address of Witness)

If space is insufficient use additional annexure sheet

Surveyor's Reference: 16800-SV-1C



SCHEDULE OF CURVED BOUNDARIES

No	Bearing	Chord	Arc	Radius	No	Bearing	Chord	Arc	Radius	No	Bearing	Chord	Arc	Radius	No	Bearing	Chord	Arc	Radius
1	356°50'40"	26.375	26.425	124	16	278°39'55"	14.29	14.29	303	31	148°17'05"	21.765	24.675	14.4	46	268°12'30"	134.41	134.43	2492
2	163°14'55"	81.36	83.64	103	17	281°24'40"	14.75	14.75	303	32	246°30'00"	21.625	21.715	69.5	47	184°24'25"	12.16	12.17	91.5
3	195°18'15"	23.67	23.68	215	18	4°55'55"	16.25	16.27	107.5	33	235°29'15"	9.16	9.985	7	48	288°05'50"	3.905	3.905	303
4	200°21'35"	13.265	13.27	200	19	88°50'55"	27.285	27.285	2510	34	236°05'05"	18.655	18.655	711	49	104°01'45"	28.415	28.415	1180.41
5	125°53'25"	52.205	52.24	400	20	97°26'50"	103.205	103.77	286.605	35	238°40'35"	45.385	45.385	707	50	112°02'55"	128.865	129.445	394.85
6	266°10'35"	29.59	29.59	2492	21	103°32'10"	49.875	50.67	82.23	36	222°29'05"	23.11	23.12	248.135	51	217°08'20"	102.705	103.87	200
7	87°12'05"	13.135	13.135	2510	22	310°37'35"	33.5	33.65	103	37	187°43'10"	43.675	45.16	50.6	52	288°20'35"	11.67	12.03	14.22
8	86°50'50"	17.925	17.925	2510	23	48°55'40"	24.67	24.67	548.5	38	213°37'15"	29.5	33.24	19.885	53	279°44'35"	13.555	14.325	12.5
9	5°51'10"	10.405	10.485	24.43	24	47°45'25"	80.805	80.82	1139	39	264°53'20"	1.915	1.915	308.225	54	331°13'55"	77.805	78.105	256.5
10	88°21'30"	15.74	15.74	2510	25	124°58'45"	41.595	41.615	421	40	266°42'10"	16	16	283.235	55	149°29'15"	57.265	57.41	233.5
11	88°03'45"	10.185	10.185	2510	26	124°02'35"	11.88	11.885	179	41	270°02'15"	17.535	17.54	308.29	56	247°06'40"	35.49	35.53	210.25
12	222°37'05"	19.58	22.17	13	27	227°11'40"	84.895	84.91	1201.5	42	236°52'05"	41.52	44.185	36.375	57	311°12'15"	11.635	11.635	326
13	271°43'45"	2.74	2.74	303	28	224°20'50"	16.225	16.24	95.5	43	190°44'05"	32.535	32.58	181.46	58	354°27'15"	13.145	15.87	7.605
14	273°19'00"	14.05	14.05	303	29	236°40'15"	12.12	12.305	20.5	44	180°48'55"	1.58	1.58	9.5					
15	275°58'45"	14.12	14.12	303	30	225°37'10"	17.89	18.635	18.9	45	266°07'05"	14.425	14.425	2492					

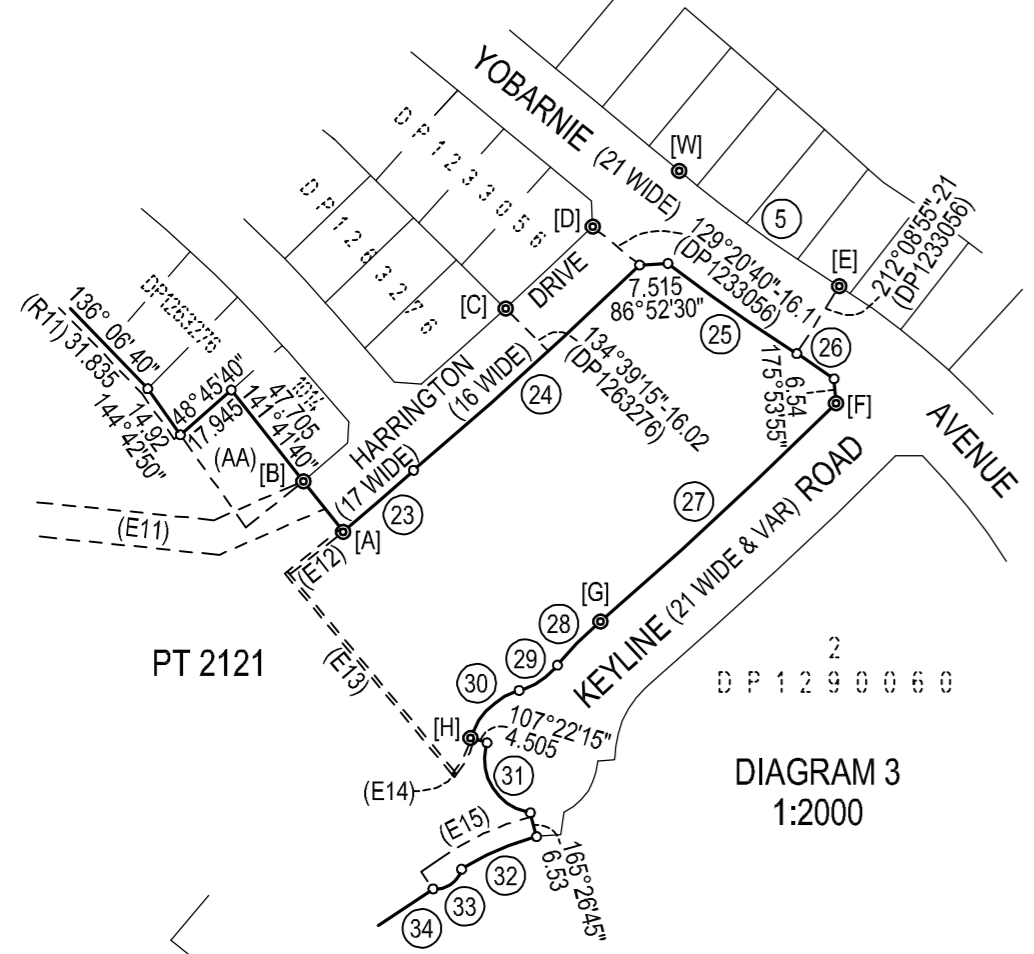


DIAGRAM 3
1:2000

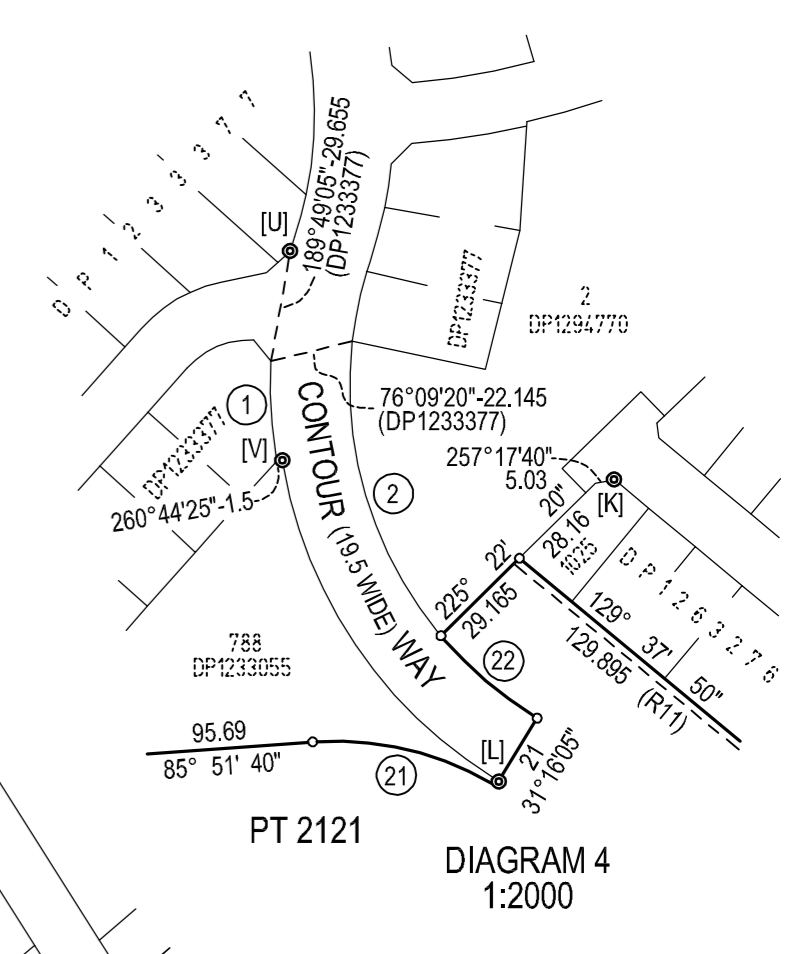


DIAGRAM 4
1:2000



SCHEDULE OF REFERENCE MARKS

No	Bearing	Distance	Description	No	Bearing	Distance	Description
A	319°29'35"	4.335	RMDH&W FD. (DP1263276)	K	215°42'20"	4.335	RMDH&W FD. (DP1263276)
B	151°16'30"	4.47	RMDH&W FD. (DP1290060)	L	161°04'20"	13.86	RMDH&W FD. (DP1233377)
C	301°50'00"	3.56	RMDH&W FD. (DP1233056)	M	318°38'10"	15.3	RMDH&W FD. (DP1233377)
D	307°41'50"	11.705	RMDH&W FD. (DP1233056)	N	270°19'00"	25.855	RM GIP FD. (DP1199659)
E	305°30'40"	3.405	RMDH&W FD. (DP1233056)	O	323°28'00"	0.62	RM GIP FD. (DP1199659)
F	299°14'05"	12.085	RMDH&W FD. (DP1233056)	P	44°42'00"	0.995	RM GIP FD. (DP840951)
G	30°22'50"	5.315	RMDH&W FD. (DP1249265)	Q	7°59'00"	0.455	RM GIP FD. (DP17870)
H	32°28'55"	16.545	RMDH&W FD. (DP1249265)	R	315°35'00"	2.39	RMSSM18799 FD (DP1199659)
I	350°02'30"	5.34	RMDH&W FD. (DP1290060)	S	313°45'50"	16.595	RMDH&W FD. (DP1266750)
J	313°49'05"	15.63	RMDH&W FD. (DP1290060)	T	241°39'05"	14.65	RMDH&W FD. (DP1266753)
K	292°06'15"	4.93	RMDH&W FD. (DP1290060)	U	272°32'15"	27.85	RMDH&W FD. (DP1266753)
L	309°53'40"	15.775	RMDH&W FD. (DP1290060)	V	282°26'25"	9.89	RMDH&W FD. (DP1233377)
M	280°09'20"	16.29	RMSSM201081 FD (DP1290060)	W	284°06'50"	18.13	RMDH&W FD. (DP1233377)
N	25°59'40"	6.195	RMSSM201039 FD (DP1266755)	X	255°19'10"	16.7	RMDH&W FD. (DP1233055)
O	184°07'40"	2.345	RMDH&W FD. (DP1266750)	Y	53°35'45"	5.52	RMSSM205067 FD (DP1249265)
P	177°58'15"	13.625	RMDH&W FD. (DP1266750)	Z	77°35'30"	21.05	RMDH&W FD. (DP1249265)

SURVEYOR
Name: PETER ROBERT WARWICK
Date:
Reference: 16800-SV-1C

PLAN OF SUBDIVISION OF
LOT 3 DP1297783 & EASEMENTS OVER
LOT 1916 DP1290691

L.G.A: HAWKESBURY
Locality: NORTH RICHMOND
Reduction Ratio: 1:4000
Lengths are in metres

REGISTERED

DP1296584

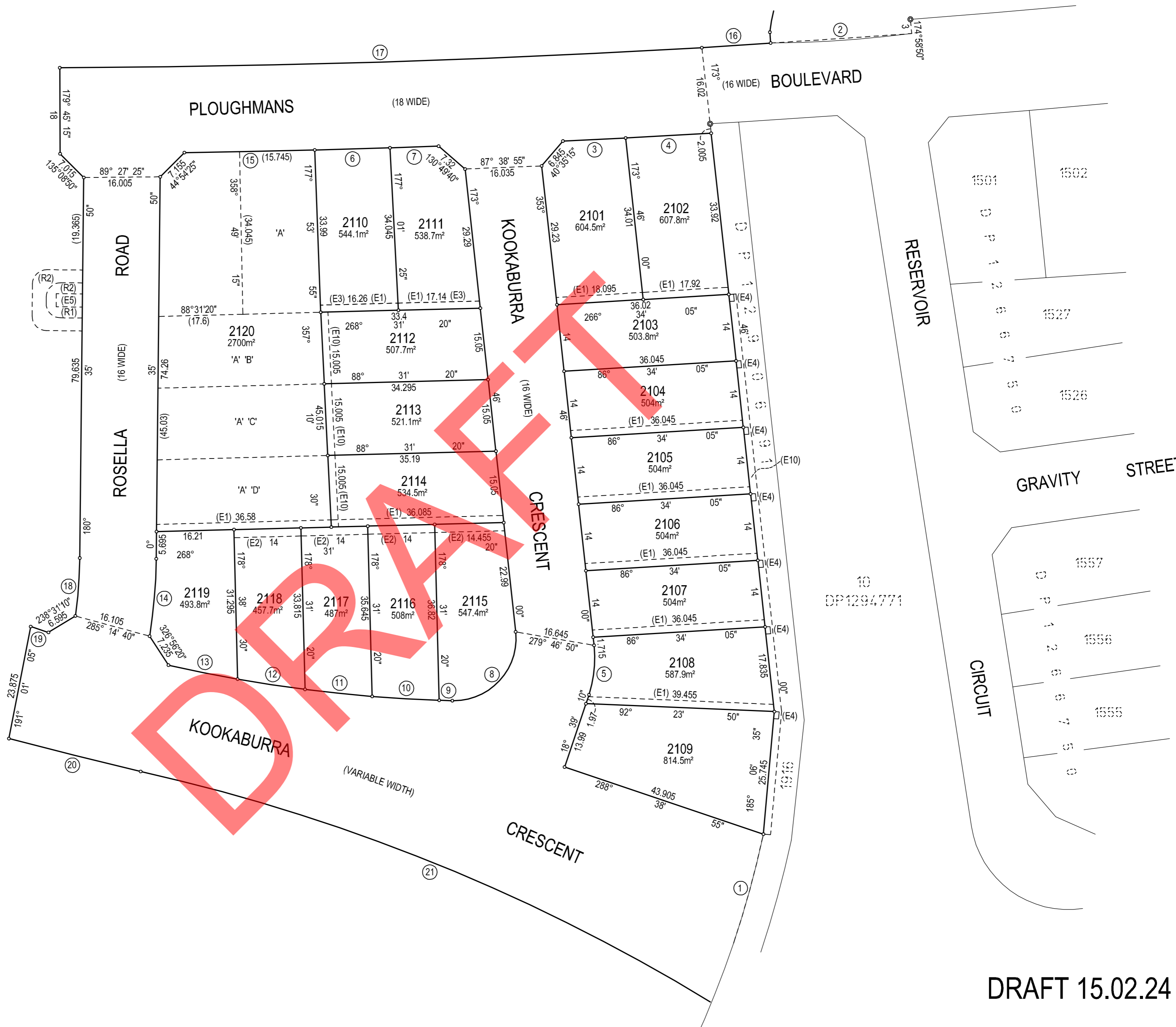
DRAFT 15.02.24

SCHEDULE of CURVED BOUNDARIES

No	Bearing	Chord	Arc	Radius
1	195°18'15"	23.67	23.68	215
2	266°10'35"	29.59	29.59	2492
3	87°12'05"	13.135	13.135	2510
4	86°50'50"	17.925	17.925	2510
5	5°51'10"	10.405	10.485	24.43
6	88°21'30"	15.74	15.74	2510
7	88°03'45"	10.185	10.185	2510
8	222°37'05"	19.58	22.17	13
9	271°43'45"	2.74	2.74	303
10	273°19'00"	14.05	14.05	303
11	275°58'45"	14.12	14.12	303
12	278°39'55"	14.29	14.29	303
13	281°24'40"	14.75	14.75	303
14	4°55'55"	16.25	16.27	107.5
15	88°50'55"	27.285	27.285	2510
16	266°07'05"	14.425	14.425	2492
17	268°12'30"	134.41	134.43	2492
18	184°24'25"	12.16	12.17	91.5
19	288°05'50"	3.905	3.905	303
20	104°01'45"	28.415	28.415	1180.41
21	112°02'55"	128.865	129.445	394.85



PT 2121
SEE SHEET 1



- (AA) BENEFITTED TO DRAIN WATER 1.5 WIDE (DP1263276)
- (BB) BENEFITTED BY EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE (DP1233056)
- (CC) BENEFITTED BY EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE (DP1227045)
- (DD) BENEFITTED BY EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE (DP1226996)
- 'A' BENEFITTED BY EASEMENT TO DRAIN WATER 1.5 WIDE (E3)
- 'A1' BENEFITTED BY EASEMENT TO DRAIN WATER 1.5 WIDE & POSITIVE COVENANT (DP1233056)
- 'B' BENEFITTED BY EASEMENT FOR RETAINING WALL SUPPORT 1.5 WIDE (E10)
- 'C' BENEFITTED BY EASEMENT FOR RETAINING WALL SUPPORT 1.5 WIDE (E10)
- 'D' BENEFITTED BY EASEMENT FOR RETAINING WALL SUPPORT 1.5 WIDE (E10)
- (E5) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
- (R1) RESTRICTION ON THE USE OF LAND
- (R2) RESTRICTION ON THE USE OF LAND
- (E1) EASEMENT FOR RETAINING WALL SUPPORT 1.5 WIDE
- (E10) EASEMENT FOR RETAINING WALL SUPPORT 1.5 WIDE
- (E7) RIGHT OF ACCESS VARIABLE WIDTH (DP1266753)
- (E11) EASEMENT FOR OVERHEAD POWERLINES 9 WIDE (DP1199659)
- (E12) EASEMENT FOR UNDERGROUND CABLES 1 WIDE (DP1290060)
- (E13) EASEMENT FOR UNDERGROUND CABLES 1 WIDE (DP1290060)
- (E14) EASEMENT FOR UNDERGROUND CABLES 1 WIDE (DP1290060)
- (E15) RIGHT OF ACCESS 5.5 WIDE & VARIABLE (DP1290060)
- (E16) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE (DP1199664)
- (E2) EASEMENT TO DRAIN WATER 1.7 WIDE
- (E3) EASEMENT TO DRAIN WATER 1.5 WIDE
- (E4) EASEMENT TO DRAIN WATER 1 WIDE
- (EE) BENEFITTED BY EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE (DP1226996)
- (FF) BENEFITTED BY EASEMENT FOR RETAINING WALL 0.5 WIDE (DP1226996)
- (R11) RESTRICTION ON THE USE OF LAND (DP1263276)
- (R12) RESTRICTION ON THE USE OF LAND (DP1199664)(No.4)
- (R13) RESTRICTION ON THE USE OF LAND (DP1199664)(No.5)

SURVEYOR
Name: PETER ROBERT WARWICK
Date:
Reference: 16800-SV-1C

PLAN OF SUBDIVISION OF
LOT 3 DP1297783 & EASEMENTS OVER
LOT 1916 DP1290691

L.G.A: HAWKESBURY
Locality: NORTH RICHMOND
Reduction Ratio: 1: 600
Lengths are in metres

REGISTERED

DP1296584

DRAFT 15.02.24

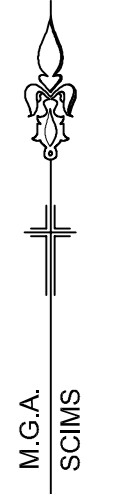
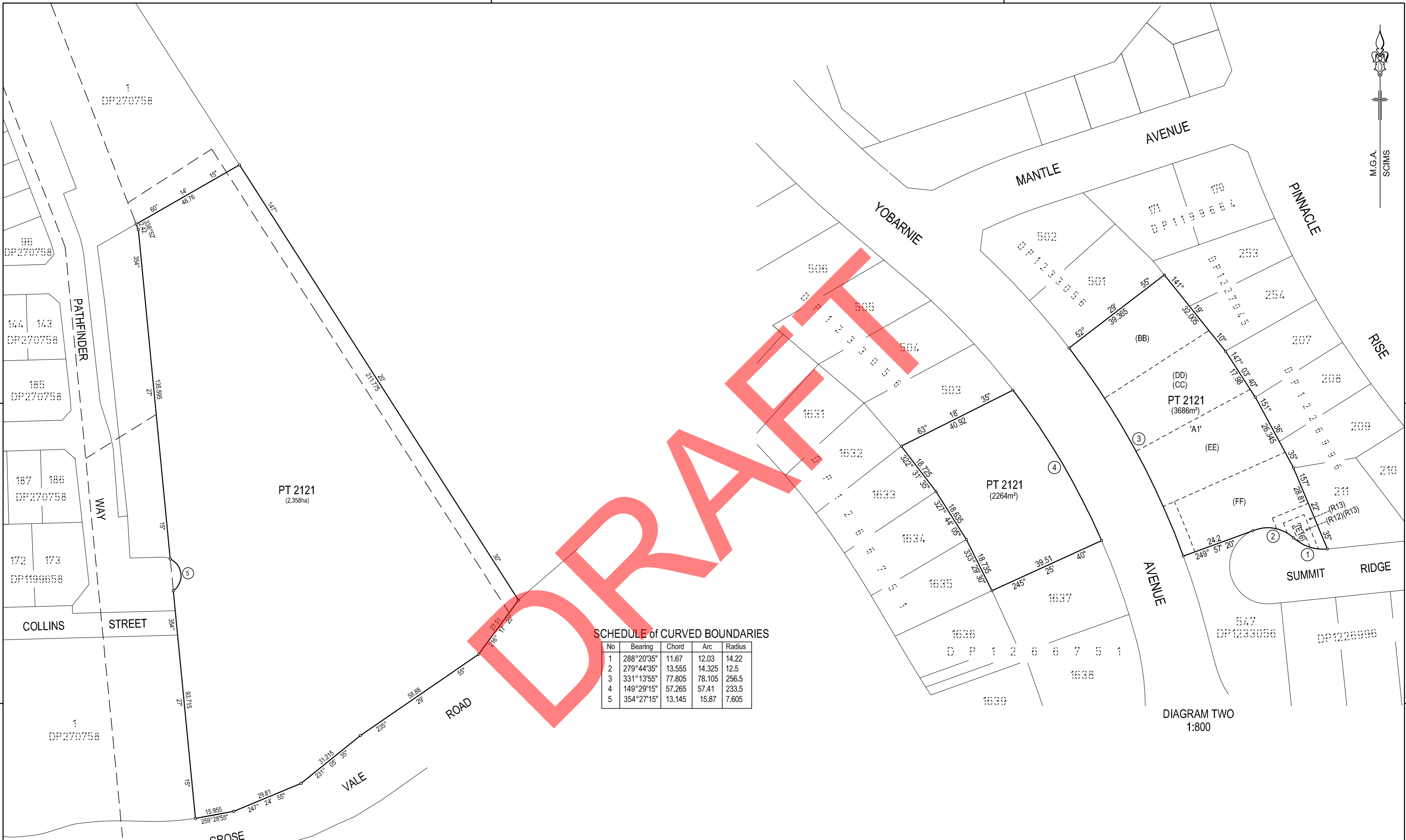


DIAGRAM ONE
1:1000

DIAGRAM TWO
1:800

DRAFT 15.02.24

SEE SHEET 2 FOR EASEMENTS

<p>SURVEYOR Name: PETER ROBERT WARWICK Date: . Reference: 16800-SV-1C</p>	<p>PLAN OF SUBDIVISION OF LOT 3 DP1297783 & EASEMENTS OVER LOT 1916 DP1290691</p>	<p>L.G.A: HAWKESBURY Locality: NORTH RICHMOND Reduction Ratio: 1: 600 Lengths are in metres</p>	<p>REGISTERED</p>	<p>DP1296584</p>
---	---	---	-------------------	-------------------------