

Design & Landscaping Guidelines

Belmont
Lots 1 - 59

REDBANK
NORTH RICHMOND







Design & Landscape Guidelines

**Belmont
Lots 1 - 59**

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The Redbank Design and Landscape Guidelines form part of the Contract of Sale for your block of land. The Design and Landscape Guidelines have been produced to help create a well-designed new community at Redbank and to protect your investment in your new home.

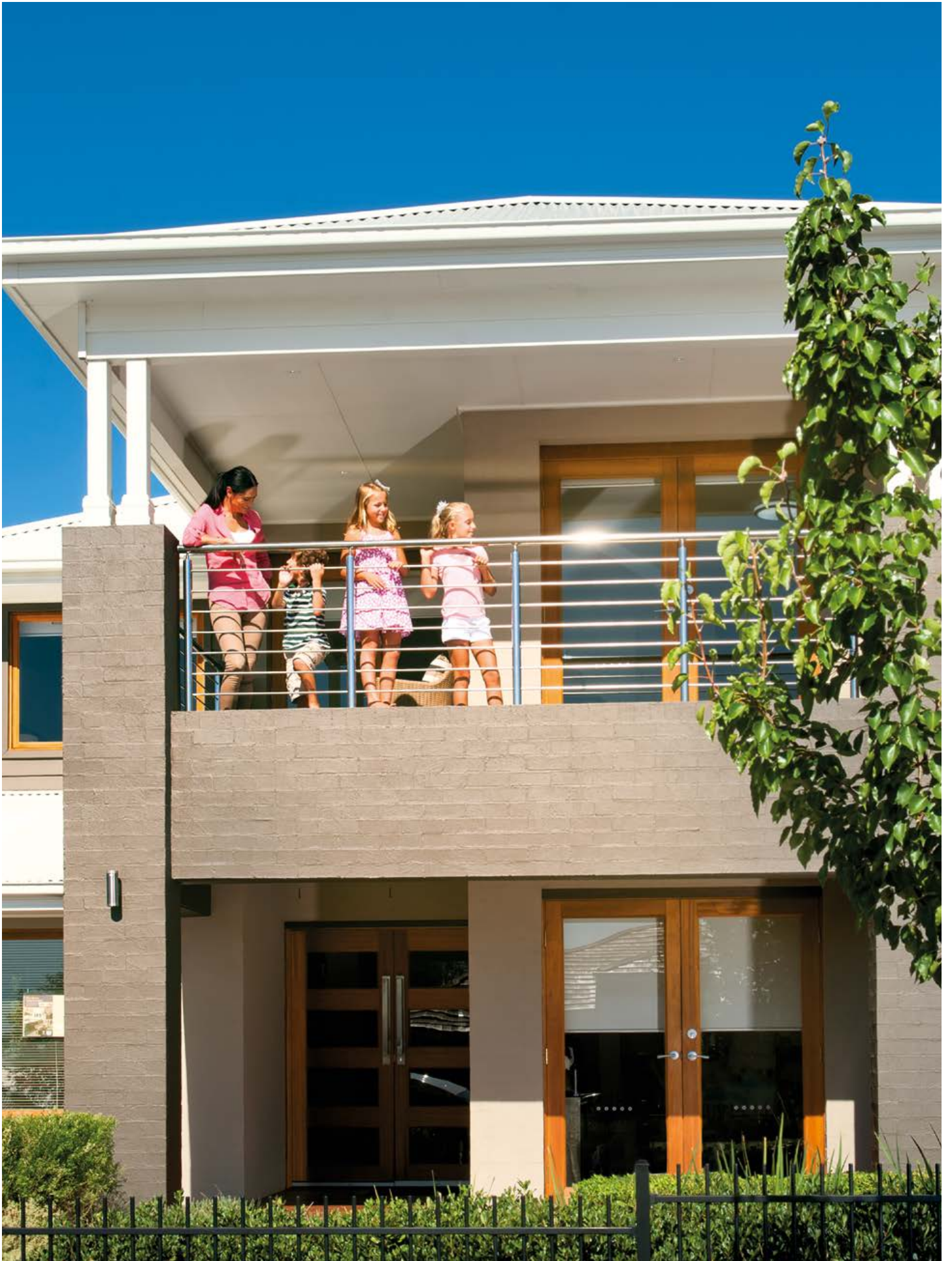
The Design and Landscape Guidelines apply in addition to and not in lieu of other statutory requirements and approvals. Approval from Hawkesbury City Council or a registered building certifier will be required in addition to any approval given by the Redbank Design Review Panel. To the extent of any inconsistency between these Redbank Design and Landscape Guidelines and any site specific Development Control Plan (DCP), the DCP prevails.

Design Review Panel

The Design Review Panel (DRP) has been created to evaluate all proposed home designs within Redbank.

Purchasers or their selected Builders must submit their house designs along with their landscape plans for review and approval by the Redbank Design Review Coordinator prior to lodgement with Hawkesbury City Council for approval.

If you have any questions you can ask at the Redbank Sales and Information Centre or by emailing:
designreview@nrjv.com.au.



The approval process

STEP**1**

Inform your builder about the Design and Landscape Guidelines

Provide your builder with a copy of the Redbank Design and Landscape Guidelines or direct them to the Redbank website to download a copy. Make sure your builder understands that it is a condition of your Sale of Land Contract that you must comply with the Design and Landscape Guidelines.

STEP**2**

Seek approval from the Design Review Panel (DRP)

You must ensure that prior to the lodgement of your plans with Hawkesbury City Council or an accredited certifier or commencement of any works, you or your builder (on your behalf), seek approval for your house from the Redbank DRP by lodging your building plans, colour scheme and landscape plan for approval. The DRP may approve or conditionally approve your building plans, landscaping plans and colour scheme or ask you to resubmit if there is any non-compliance to the Design and Landscaping Guidelines. Purchasers must have their house designs along with their landscape plans approved by the Redbank Design Review Coordinator prior to lodgement for approval with Council or a certifier.

STEP**3**

Hawkesbury Council Approval

Purchasers or their selected Builders will need to have their house plans approved by Hawkesbury Council or under the NSW Housing Code by an independent certifier. If Hawkesbury City Council allows Development Applications to be lodged prior to settlement the DRP will also provide an owner's consent to lodge.

STEP**4**

Completion of works and application for rebate

If your building and landscape works are completed within 18 months of the settlement of your block of land (home site), and you have rectified any damage of the road, public, footpath, street trees, nature strip or services that occurred during construction, you can apply for the Design and Landscape Rebate to be paid to you.

STEP**5**

Payment of rebate

A representative of the DRP will inspect your home site and check that the works including the landscaping works have been completed in accordance with the DRP approved building and landscape plans. Once the completion of the works in accordance with the DRP approval has been verified the Rebate will be paid to you.

Two levels of design control

There are two types of Homesites within the Belmont precinct at Redbank having two levels of controls under the Redbank Design and Landscape Guidelines. These two levels of controls will contribute to the overall design and landscape character of the Belmont rural precinct at Redbank.

- Level 1 Homesites tend to be on corners at the entry into neighbourhoods or Homesites that share boundaries with a park or open space.
- Level 2 Homesites are the rest of the Homesites.

Design and landscape rebate

If your home and landscaping are completed within 18 months of your land settlement and are in compliance with your approved plans and colour scheme you will be entitled to a Design and Landscape Rebate.

You can apply for your rebate by completing the attached form and returning it to the Redbank Sales and Information Centre or by emailing:

designreview@nrjv.com.au

Conditions for release of the Design and Landscape Rebate are that:-

- No changes (unless endorsed) have occurred to the exterior of the home as reviewed by the Redbank Design Review Coordinator.
- You (and your Builder) have been careful during construction to minimise any damage to the street, footpath, verge, services, public landscape or street tree and that any damage caused to these items by the construction of your home has now been rectified at your cost.

- Completion of your home, landscaping, driveways and fencing as approved, is within 18 months of settlement of your property.
- Your home and landscape is being maintained to a reasonable standard.

The Design and Landscape Rebate is different for the different levels of design control, see attached schedule of Homesites Levels:-

- Level 1 Homesites - \$ 12,000.00 (GST included)
- Level 2 Homesites - \$ 8,000.00 (GST included)

Part 1 Your home

Architectural Character and Style

Homes at Redbank are intended to be a mix of modern, contemporary and rural character. Front elevation features such as porches, pergolas, verandahs and screens are encouraged.

Belmont is a precinct of rural residential character and is intended to provide ranch style, country style and Australian colonial style homes with elements such as wide verandahs, eaves, metal roofs and painted masonry walls.

Architectural styles such as some traditional rural house designs that don't fully comply with these design guidelines can be considered by the DRP and may be approved at their discretion based on architectural merit. If you want to lodge a home that doesn't comply we recommend discussion with a DRP representative prior to lodgement.

Architectural Merit (Design Excellence)

Architectural styles such as traditional, contemporary or modern rural style house designs with alternative materials or architectural elements that don't fully comply with these design guidelines can be considered by the DRP based on Design Excellence and may be approved at their discretion based on architectural merit.



NOTE: If you want to lodge a home that doesn't comply, we request you obtain early feedback on any non-compliance from the DRP representative prior to final lodgement.

designreview@nrjv.com.au

Setbacks

For building setbacks please refer to the Hawkesbury Development Control Plan.

You can find the DCP at <http://www.hawkesbury.nsw.gov.au/development/development-information/development-control-plan/toc>.

Articulation

The front façade and secondary street façade for corner homes must provide articulation including changing wall and roof lines as well as patios, porches, verandahs, single and two storey elements. Articulation is also achieved by including two different wall materials. Materials and colours are to return by at least 2 metres on side elevations.

Building Materials

External walls of all homes should be constructed from a mix of the following materials in colours that are selected from the Colour Scheme Palettes.

Front Facades And Secondary Street Facades (Corner Homesites): -

Walls are to be of:-

- Painted, bagged & painted or painted rendered masonry (maximum 90%),
- Timber or fibre cement premium profile cladding painted (maximum 90%)
- Face brickwork (maximum 30%),

Optional features element of:-

- Stone,
- Lightweight materials such as cladding, fibre cement or seamless, textured and coated materials.

Note: the use of lightweight materials is only permitted to second story or as a design feature element.

Note: the Front Façade materials and colours need to wrap around the corners of the walls and return by 2m on the side elevations.

Side And Rear Walls (not visible from the street)-

Walls are to be of:-

- Face brickwork or painted, bagged & painted or painted rendered masonry,
- Lightweight materials such as cladding fibre cement or seamless, textured and coated materials.

Note: the use of lightweight materials is to be minimised and is only permitted on the second storey as features or in areas not supported by a brick veneer below.

Verandahs and Porches

Verandahs are important architectural elements to promote the architectural character of Redbank.

- Level 1 Homesites – Must have a covered verandah, balcony or porch a minimum of 1.5 m deep including an entry porch that wraps around the corner of the home site or by a minimum of 50% of the width of the primary frontage and 4 m on the secondary street.
- Level 2 Homesites - Must have a covered verandah balcony or porch a minimum of 1.5 m deep that is over 50% the width of the front elevation including an entry porch.

Roof

The roof is encouraged to be a lighter colour Colorbond metal roofing. If roof tiles are preferred then concrete flat shingle/ low profile (colour through) roof tiles are also encouraged.

Must have minimum 450mm eaves, and 600mm or wider eaves are strongly encouraged. The roof must have a minimum 25 degree roof pitch.

Roof colours must comply with the Colour Scheme (attached).

Windows

All windows visible from the street must be double hung or awning type and predominately of vertical proportions.

Chimney Elements

Chimney Elements are required on Level 1 Homesites. A 'chimney element' is an architectural design feature that looks like a chimney but may not be a working chimney. It can be an architectural element, it can be a working chimney or a metal flue concealed by the chimney element. Chimney elements are to be constructed of stone, cladding or masonry and consistent with the house. Chimney elements should not exceed the maximum height of the roofline by 1 metre.

Garage Doors

Any garage doors that face the street must be sectional panel or panel lift style doors either simple pattern or plain. Roller doors are not permitted.

Position of Garages

It is important to carefully consider the location of garages to minimise any negative visual impact on the overall streetscape and adjoining properties by:-

- Integrating them into the overall design of your home with similar architectural features. Setting them back at least 2m from the front building line.
- Using maximum double garage width facing the street.
- If considering a third garage door, it should be setback an additional 1m from the other garage doors.
- Setting them back on a secondary frontage by at least 2.5m.
- Consider including a storage area in your garage so you don't need an additional shed.
- Carports, if used, should integrate with the overall design of the dwelling and should be setback from the dwelling and not prominent from the street.
- Considering dwelling designs that have garage doors facing side boundaries rather than the street.

Outbuildings

Outbuildings will have a maximum floor area of 100m² and a maximum length of 10.5m provided that a maximum of 50% of the lot is maintained as landscape open space.

The rear setbacks for outbuildings are 5m minimum. The side setback is 3m minimum. Greater setbacks may be required if the use of the outbuilding has the potential to create adverse impacts on the amenity (e.g. light and noise) of adjoining residents such as a workshop.

The roofing of the outbuilding is encouraged to be Colorbond and match the colour of the dwelling roof, or clad to match the main dwelling. Roof pitch should be in keeping with the main dwelling roof pitch.

The external wall cladding of the outbuilding, if fronting a street, should be painted masonry, timber siding or face brick to match the main dwelling. Side and rear walls can be Colorbond to match roof cladding.

Note: Any outbuildings need to be approved by the Design Review Panel and will be subject to Council approval.



Caravan and Boat Storage

Trailers, caravans, motorhomes, boats or other vehicles shall be stored behind the front building line (main dwelling), and have a screened parking bay to ensure that they are not visible from the street or other public places. Vehicles such as prime movers and/or articulated load carrying vehicles are not permitted to be stored on any Homesite.

Satellite Dishes

Satellite dishes are permitted providing they comply with the following provisions. Dishes must be located, or screened, so they are not visible from the Homesites primary street. Dishes should be located to minimise the visual impact from adjoining homes. Dishes must not be larger than 900mm in diameter.

Services and Utilities

Water tanks, air conditioning units, garbage bin storage area, hot water units and clothes drying areas, are to be positioned so they can't be seen from the street. Water tanks of an appropriate scale that are in a traditional form of corrugated steel may be seen from the street.

Granny Flats and Studios

Only one home can be built on a home site with the exception of granny flats and studios that comply with the NSW Affordable Housing SEPP.

Colour Schemes

Paint and Render Colours - should suit your brick and roof materials and be in line with or based on the three Render and Paint Colour Schemes. Each of the colour schemes 'Trees and Grasses', 'Wood and Earth' and 'Shadows and Sunsets' include a number of trim, accent and background colours. Choose one of each for your house. Background and accent colours are to be used for large expanses of the house such as wall materials, cladding or painted masonry. Strong/ bright colours are restricted to highlights and trim such as columns and beams, windows and door frames, the front door, gutters and downpipes, handrails and pergolas.

Face Bricks - which form the main wall material are to be generally flat-faced, square-edged and not deeply textured. The brick colour is to be generally uniform throughout the brick and provide a consistent wall colour. Pale or white coloured bricks are not permitted. Mid to darker tone bricks are preferred. Ledges & corners are to not show extrusion holes.

Roof Tiles - Colours such as mid-range greys to charcoal are suitable. Bright red terracotta, bright blue, pure black or pure white are not permitted.

Driveways and Paths - in the front yard (private land) must be either a broom finished coloured concrete; plain square paver patterned stencilled or stamped concrete, clay pavers or exposed aggregate. Driveways and paths in the public road reserve (verge areas) must be plain concrete with a broom finish.

Retaining Walls - in the front or side yard areas that are visible from the street must be masonry and must be either face brick or painted masonry to match the house or unit masonry blocks in natural earth colours and tones such as sandstone colour.

Paint & Render Colour Scheme - Tree and Grass

Tree and Grasses – Palette 1

	Trim Colour C23 Woodland Grey EB
	Accent Colour A251 Army Greens D
	Accent Colour A251 Battle Dress D
	Background Colour A251 Moorland W
	Background Colour A252 Lamb's Ears W

Tree and Grasses – Palette 2

	Trim Colour A202 Congo Brown BY
	Accent Colour A203 Irrigation UD
	Accent Colour A203 Knapsack D
	Background Colour A203 Tuft W
	Background Colour A204 Grand Piano W

Roof Colour for Tree and Grasses – Palette 1

Colours for Colorbond or tiled roofs for each palette are included below. These colours can also be used for accents and trims elsewhere on your house.

	Colorbond Colour C23 Woodland Grey EB
	Colorbond Colour C3 Summershade W
	Colorbond Colour C13 Bushland D
	Colorbond Colour C10 Wilderness UD
	Colorbond Colour Basalt

Roof Colour for Tree and Grasses – Palette 2

	Colorbond Colour C3 Summershade W
	Colorbond Colour C17 Jasper UD
	Colorbond Colour C23 Woodland Grey EB

Please note: while Dulux colours are specified, equivalent colours within other paint brands are allowed. Half and quarter mixer of each tint are also allowed.

Paint & Render Colour Scheme - Wood and Earth

Wood and Earth – Palette 1

	Trim Colour C22 Estate EB
	Accent Colour A143 Sea Elephant UD
	Accent Colour A143 Toffee Fingers D
	Background Colour A143 Blind Date W
	Background Colour A168 Limed White W
	Background Colour P13H1 Wheaten White

Wood and Earth – Palette 2

	Trim/Background Colour C8 Dune W
	Accent Colour A152 Baton UD
	Accent Colour A152 Snuggle Pie D
	Background Colour A152 Puddle W
	Background Colour A165 Light Roce W
	Trim Colour PCWF6 Whisper White

Roof Colour for Wood and Earth – Palette 1

Colours for Colorbond or tiled roofs for each palette are included below. These colours can also be used for accents and trims elsewhere on your house.

	Colorbond Colour C13 Bushland D
	Colorbond Colour C22 Estate EB
	Colorbond Colour C8 Dune W
	Colorbond Colour C4 Shale Grey W
	Colorbond Colour Gully

Roof Colour for Wood and Earth – Palette 2

	Colorbond Colour C8 Dune W
	Colorbond Colour C12 Stone D
	Colorbond Colour C22 Estate EB
	Colorbond Colour C23 Woodland Grey EB

Please note: while Dulux colours are specified, equivalent colours within other paint brands are allowed. Half and quarter mixer of each tint are also allowed.

Paint & Render Colour Scheme - Shadow and Sunsets

Shadow and Sunsets – Palette 1

	Accent Colour A431 Purple Empire UD
	Accent Colour A431 Purposeful D
	Background Colour A431 Regal Violet W
	Background Colour A48 Pale Lady W
	Trim Colour A34 Misty Grape EB

Shadow and Sunsets – Palette 2

	Accent Colour A95 Plumburn UD
	Accent Colour A95 Pigeon Pink D
	Background Colour A95 Perdu Pink W
	Background Colour A120 Christobel W
	Trim Colour A67 Belly Fire TR

Roof Colour for Shadow and Sunsets – Palette 1

Colours for Colorbond or tiled roofs for each palette are included below. These colours can also be used for accents and trims elsewhere on your house.

	Colorbond Colour C4 Shale Grey W
	Colorbond Colour C17 Jasper UD
	Colorbond Colour C18 Windspray D
	Colorbond Colour Cove

Roof Colour for Shadow and Sunsets – Palette 2

	Colorbond Colour C12 Stone D
	Colorbond Colour C22 Estate EB

Please note: while Dulux colours are specified, equivalent colours within other paint brands are allowed. Half and quarter mixer of each tint are also allowed.

Part 2

Your homesite

Sloping Sites – Retaining Walls

Homes are to be designed to respond to the slope of your block. Split level homes and the use of drop edge beams are encouraged to minimise the use of retaining walls in the private open space areas. The following principles apply:

- An elevated entry can be no greater than 1.2m from the existing ground level at that point unless otherwise approved.
- Retaining walls on the front boundary are not permitted.
- Retaining walls within your property should be a maximum height of 1500mm unless otherwise approved.
- Retaining walls that are forward of the home and visible from the public street must be constructed of sandstone, unit masonry block, painted masonry or face brick to match the dwelling.
- Plain concrete block, concrete sleepers and timber retaining walls are not permitted.
- Planting should be used to soften the appearance of retaining walls.

Driveways

- Driveways must be constructed from the garage to the road kerb prior to occupation of the home.
- Between the kerb and the boundary of the Homesites the driveway is to be a consistent width between 3m and 4.5m.
- The driveway must be constructed to its full width using either a broom finished coloured concrete, plain patterned stencilled or stamped concrete, unit pavers or exposed aggregate concrete. Asphalt or gravel driveways are also permitted.

- The driveway, footpath and cross over in the public street must be plain nature broom finished concrete.
- Driveways are to be sufficiently set back from side boundaries to allow effective screen planting along the boundary.
- The average grade of driveways measured from the boundary of the Homesites to the garage is not to exceed Hawkesbury Council's requirements.
- Driveways are to be at least 500mm clear of all drainage structures in the kerb and gutter.
- Driveways to corner Homesites must be located at least 6m from the end of the curve in the kerb.

Entry Pathway

- The entry path can be connected to the driveway and the letterbox pier can be located on the boundary next to the driveway.

Front and Secondary Street (Corner Homesites) Fencing

All front and secondary street fences must be to the following specification:-

- Rural post and 3 rail
- 1500mm high
- Post 200mm X 100mm
- Rails 140mm X 35mm
- Treated Pine and/or natural Hardwood
- If treated pine a dark brown colour appearance paint finish shall apply.
- Optional galvanised wire netting. Black mesh preferred if used on dark colour post and rail.



Side and Rear Fencing between Homesites

Side and rear fences must be to the following specification:-

- Rural post and 3 rail
- 1500mm high
- Post 200mm X 100mm
- Rails 140mm X 35mm
- Treated Pine and/or natural Hardwood
- If treated pine a dark brown colour appearance paint finish shall apply.
- Optional galvanised wire netting. Black mesh preferred if used on dark colour post and rail.
- Prefer all post and rail dark in colour with black mesh allowed for pet enclosure. Hedging along fence boundaries is recommended for screening.
- Privacy screens are permitted around outdoor barbeque, entertaining or alfresco areas and in-ground swimming pools. Screens to be of materials that are in keeping with the main dwelling walls.

Letterbox

Must be of high quality and in keeping with the formal rural character of the area.

Park or Open Space Shared Fence

All front, side, park front fences or fences adjoining open space must be to the following specification:-

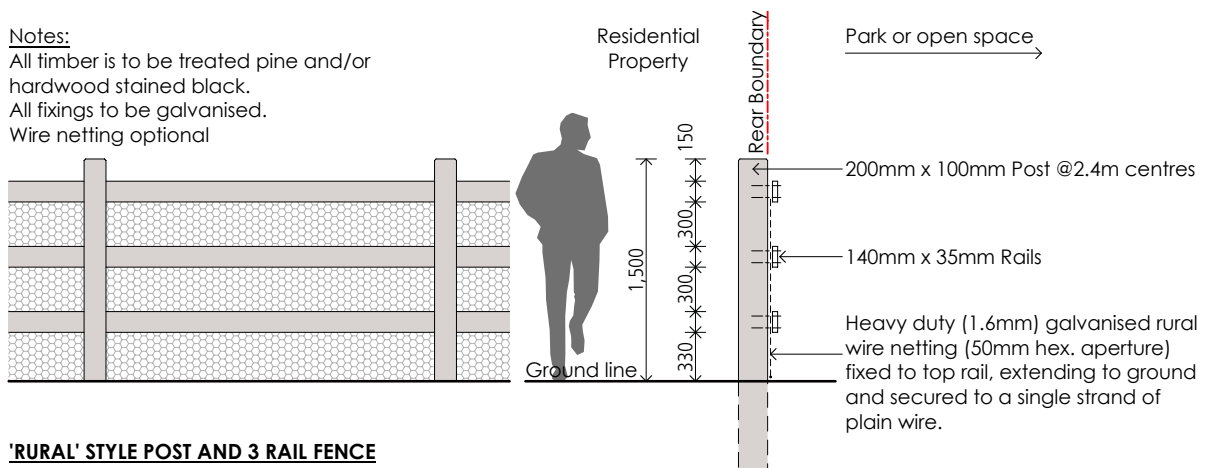
- Rural post and 3 rail
- 1500mm high
- Post 200mm X 100mm
- Rails 140mm X 35mm
- Treated Pine and/or natural Hardwood
- If treated pine a Black colour appearance paint finish shall apply. (Stud X, Black Stallion Haynes or non-toxic equivalent)
- Optional galvanised wire netting. Black mesh preferred if used on dark colour post and rail.

Signs

Signs for home business must be submitted for approval. All other signs other than real estate signs, builders' signs and development signage are prohibited.

Notes:

All timber is to be treated pine and/or hardwood stained black.
All fixings to be galvanised.
Wire netting optional



Part 3

Your garden

Landscape and Garden Design

The character of Redbank will build upon natural attributes to create a unique country garden community setting.

Landscape plan

A landscape plan is required to be prepared and to be submitted to the Redbank Design Review Panel (DRP) in order to obtain final design endorsement and rebate. The plan must be drawn to scale by a person with Landscape design or horticultural qualifications or similar (such qualifications must be displayed on the plans).

The landscape plan should be at a scale of 1:100 and include the following elements in all front yards, side yard of secondary street frontages on corner lots and rear yards of lots abutting parks and public open space:-

- Main dwelling, outbuildings and garages.
- Existing trees and contours.
- Location of proposed trees, shrubs and ground covers including species, quantity, size and pot sizes.
- Turf and Garden and edges.
- Retaining walls including location, heights and materials.
- Driveway, alignment area and finish.
- Paths and hard paving areas size, finish and levels.
- Fencing (note Corner Homesites and Abutting Parks or Open Space) all sites.
- Letterbox Pier or Entry Gateway location and finish.



- Existing services.
- Identify adjoining open space.

Plans should include a legend, scale bar, north point as well as planting details, soil preparation; mulching and turf area / soil underlay preparation and the turf species.

Minimum required planting and soft landscaping

Soft landscape elements include trees, shrubs, groundcovers, mulches and turf. To achieve a successful landscape setting for your home the following minimum planting or soft landscaping is required:

Trees – minimum of 3 to 7 trees (minimum 100 litre container size when installed) – including:-

- 3 x trees in the front yard,
- 2 x trees in the side yard on a corner lot fronting the secondary street and
- 2 x trees fronting a public park.

Turf - Post construction, all open space areas excluding garden beds, courtyards, paths and driveways shall be turf or existing pasture grass suitable for mowing.

Plant and species selections

All plants nominated on the landscape plan or in the planting schedule must be in accordance with the Hawkesbury Development Control Plan - Part C and Part D.

Schedule of homesites

Belmont Release

Design and Landscape - Level of Control

The Homesites in Belmont must comply with the following levels of control to be eligible to receive their Design and Landscape Rebate.

Design & Landscape Guideline Level	Lot Numbers - Homesites	Rebate
LEVEL 1	1, 2, 42, 41, 40, 39, 38, 50, 49, 48, 47, 46, 45, 44, 43	\$ 12,000.00
LEVEL 2	3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 51, 52, 53, 54, 55, 56, 57, 58, 59	\$ 8,000.00



Design & Landscape Rebate Belmont Release

REBATE APPLICATION FORM

Date of this Application	Date: / /
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To claim your rebates simply meet the following requirements within 18 months from the settlement of your land purchase.

1. Meet the Conditions of the Contract for Sale of Land, and
2. Build your new home and garden in accordance with the house design, colour scheme and landscape plan that have been approved by both the Redbank Design Review Panel and Hawkesbury City Council.
3. Any damage to the road, footpath, street tree, nature strip and services in the public road reserve have been repaired.

When you are ready to apply for your rebate, please complete the application below and send it to:-

Redbank Design Review Coordinator C/o Redbank Sale and Information Centre, or by emailing: designreview@nrjv.com.au.

The Redbank Design Review Coordinator will then arrange to visit your home and garden. If your home and garden does not comply with the rebate requirements, the Redbank Design Review Coordinator will contact you and provide details of what will need to be rectified before you can receive the rebate.

APPLICATION DETAILS

Lot No		Street No:	
Street Name:		Suburb:	
Name:			
Postal Address:			
Home Phone		Work Phone	
Mobile Phone		Email	

PURCHASE AND APPROVAL DETAILS

Settlement of land purchase contract	Date: / /
Plans approved by Redbank Design Review Panel	Date: / /
Plans approved by Hawkesbury City Council	Date: / /
Level of Design Control – Level 1, 2 or 3	Level:

CHECKLIST (please tick)

- House is completed in accordance with the stamped plans
- House is completed in accordance with the approved colour scheme
- Landscaping is completed in accordance with the stamped landscape plans
- House has received its Final Occupancy Certificate

Owners Statement:

I/ We have now completed our home and landscape in accordance with the plans approved by the Redbank Design Review Panel and would like to claim our Rebate.

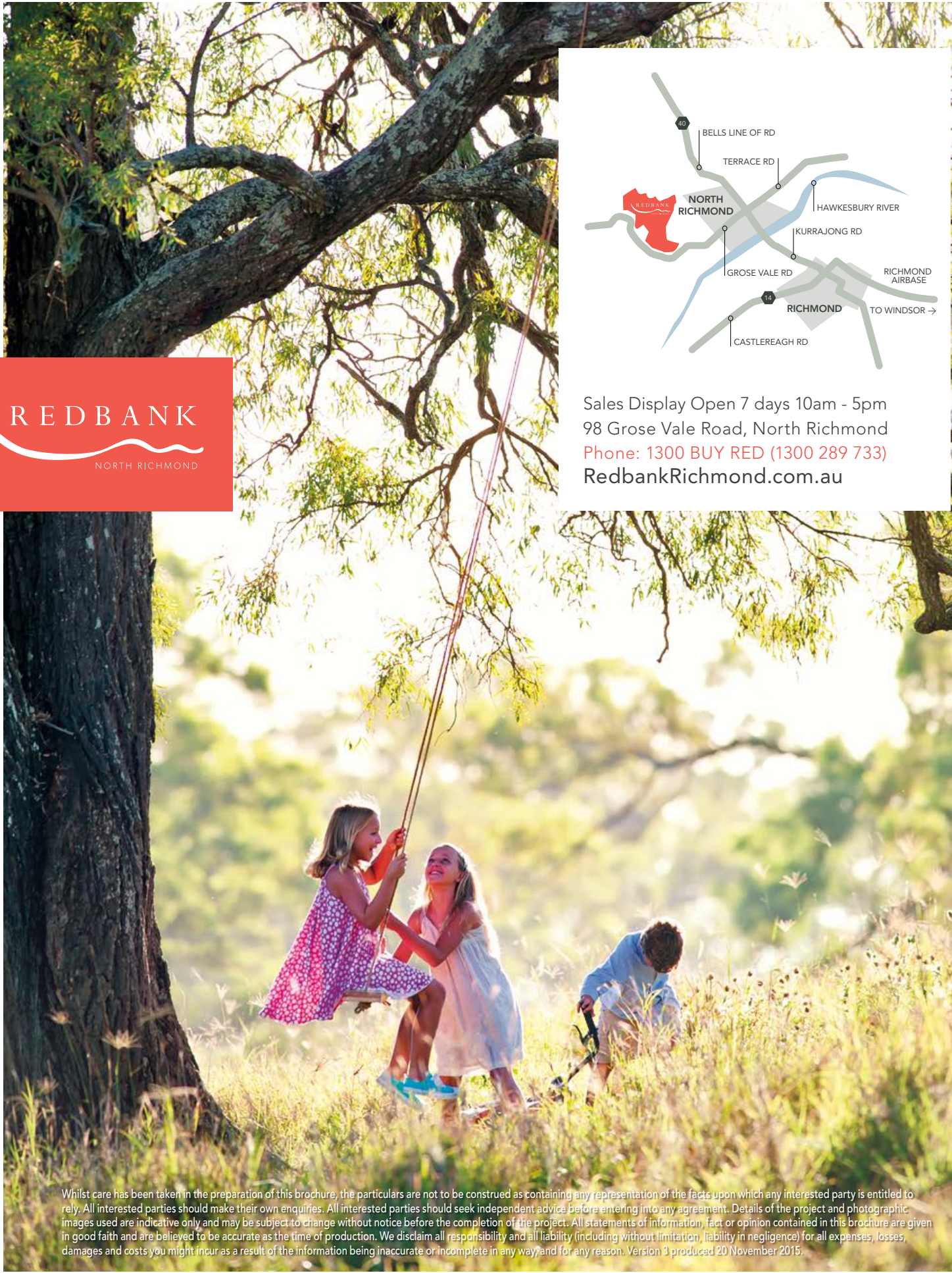
Signature:		Date: / /
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A map of the North Richmond area showing roads and landmarks. The Redbank project site is highlighted in red. Roads shown include Bells Line of Rd, Terrace Rd, Kurrajong Rd, Grose Vale Rd, Castlereagh Rd, and Richmond. Landmarks include the Hawkesbury River and Richmond Airbase. A road sign for 40 is shown near Bells Line of Rd, and a road sign for 14 is shown near Richmond. An arrow points towards Windsor.

Sales Display Open 7 days 10am - 5pm
98 Grose Vale Road, North Richmond
Phone: 1300 BUY RED (1300 289 733)
RedbankRichmond.com.au



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