

SCHEDULE of CURVED BOUNDARIES

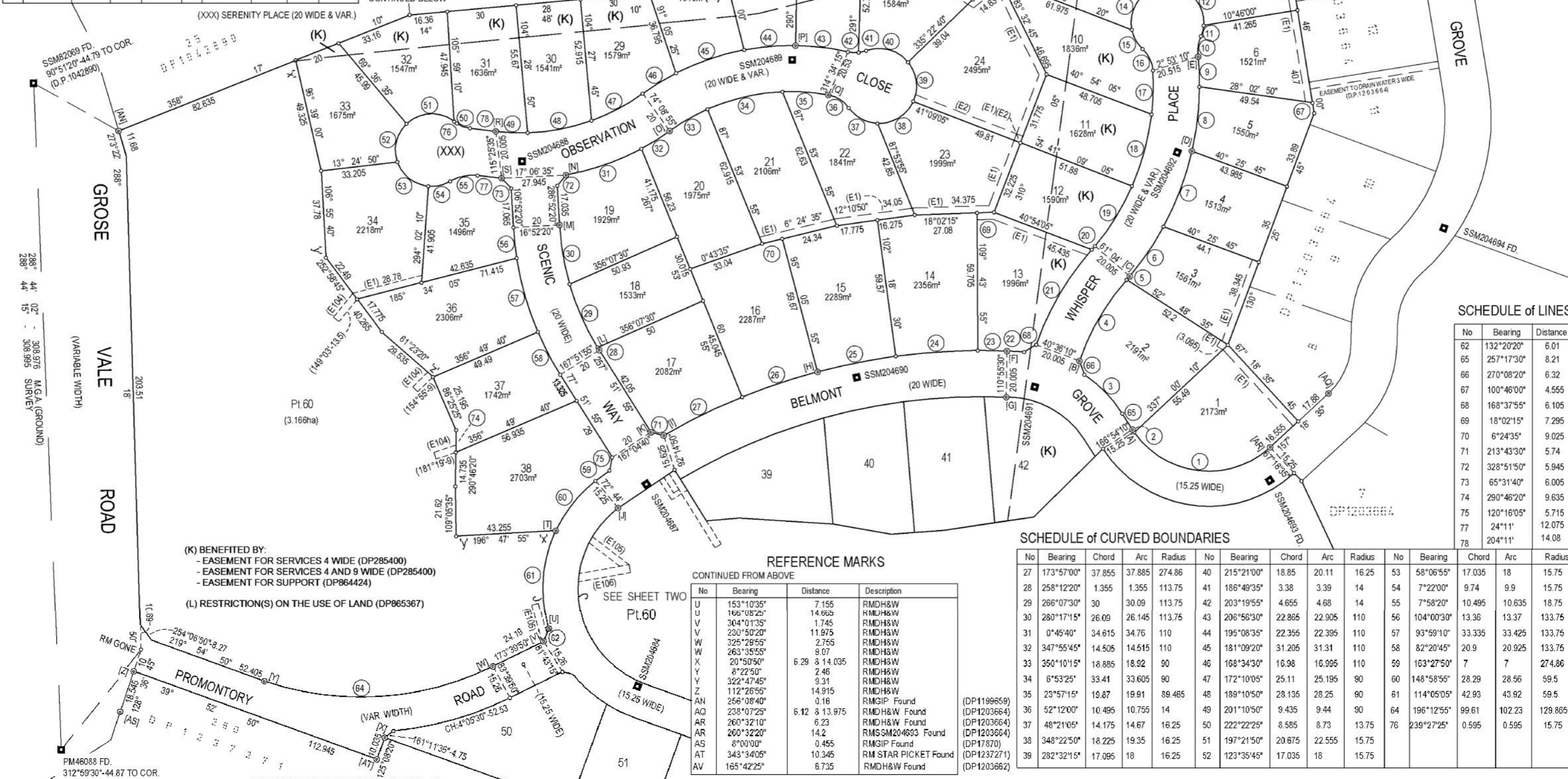
REFERENCE MARKS

SCHEDULE of PM LINES

Table with 13 columns: No, Bearing, Chord, Arc, Radius. Contains 13 rows of curved boundary data.

Table with 4 columns: No, Bearing, Distance, Description. Contains 20 rows of reference mark data.

Table with 4 columns: Marks, Survey, Bearing, Distance. Contains 13 rows of PM line data.



SCHEDULE of LINES

Table with 3 columns: No, Bearing, Distance. Contains 14 rows of line data.

SCHEDULE of CURVED BOUNDARIES

Table with 16 columns: No, Bearing, Chord, Arc, Radius. Contains 14 rows of curved boundary data.

REFERENCE MARKS

Table with 4 columns: No, Bearing, Distance, Description. Contains 17 rows of reference mark data.

(K) BENEFITED BY: - EASEMENT FOR SERVICES 4 WIDE (DP285400) - EASEMENT FOR SERVICES 4 AND 9 WIDE (DP285400) - EASEMENT FOR SUPPORT (DP864424)

(L) RESTRICTION(S) ON THE USE OF LAND (DP865367)

SURVEYOR Name: Ian Vincent Myers Date: 8th May, 2018. Reference: 18800-12C

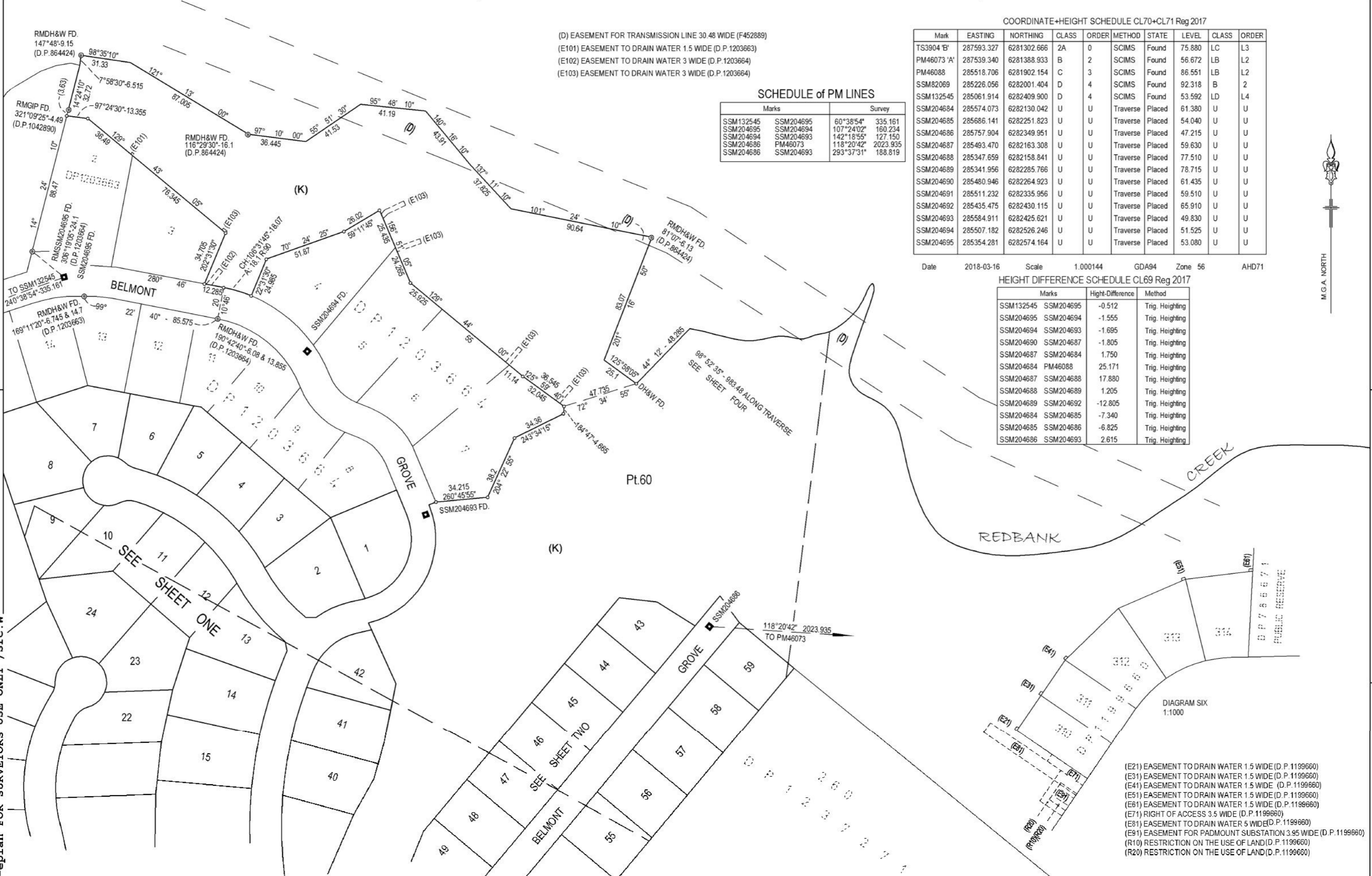
PLAN OF SUBDIVISION OF LOT 15 D.P.1203664 AND LOT 261 D.P.1237271

LGA: HAWKESBURY Locality: NORTH RICHMOND Reduction Ratio: 1200 Lengths are in metres.

Registered: 31.10.2018

DP1211770

Req:R519344 /Doc:DP 1211770 P /Rev:01-Nov-2018 /Sts:SC.OK /Pgs:ALL /Prt:02-Nov-2018 03:30 /Seq:1 of 11 Ref:lrs:eplan-eplan FOR SURVEYORS USE ONLY /src:W



SCHEDULE of PM LINES

Mark	Survey
SSM132545	SSM204695 60°38'54" 335.161
SSM204695	SSM204694 107°24'02" 160.234
SSM204694	SSM204693 142°18'55" 127.150
SSM204686	PM46073 118°20'42" 2023.935
SSM204686	SSM204693 293°37'31" 188.819

COORDINATE+HEIGHT SCHEDULE CL70+CL71 Reg 2017

Mark	EASTING	NORTHING	CLASS	ORDER	METHOD	STATE	LEVEL	CLASS	ORDER
TS3904 'B'	287593.327	6281302.666	2A	0	SCIMS	Found	75.880	LC	L3
PM46073 'A'	287539.340	6281388.933	B	2	SCIMS	Found	56.672	LB	L2
PM46088	285518.706	6281902.154	C	3	SCIMS	Found	86.551	LB	L2
SSM82069	285226.056	6282001.404	D	4	SCIMS	Found	92.318	B	2
SSM132545	285061.914	6282409.900	D	4	SCIMS	Found	53.592	LD	L4
SSM204684	285574.073	6282130.042	U	U	Traverse	Placed	61.380	U	U
SSM204685	285686.141	6282251.823	U	U	Traverse	Placed	54.040	U	U
SSM204686	285757.904	6282349.951	U	U	Traverse	Placed	47.215	U	U
SSM204687	285493.470	6282163.308	U	U	Traverse	Placed	59.630	U	U
SSM204688	285347.659	6282158.841	U	U	Traverse	Placed	77.510	U	U
SSM204689	285341.956	6282285.766	U	U	Traverse	Placed	78.715	U	U
SSM204690	285480.946	6282264.923	U	U	Traverse	Placed	61.435	U	U
SSM204691	285511.232	6282335.956	U	U	Traverse	Placed	59.510	U	U
SSM204692	285435.475	6282430.115	U	U	Traverse	Placed	65.910	U	U
SSM204693	285584.911	6282425.621	U	U	Traverse	Placed	49.830	U	U
SSM204694	285507.182	6282526.246	U	U	Traverse	Placed	51.525	U	U
SSM204695	285354.281	6282574.164	U	U	Traverse	Placed	53.080	U	U

Date: 2018-03-16 Scale: 1:000144 GDA94 Zone 56 AHD71

HEIGHT DIFFERENCE SCHEDULE CL69 Reg 2017

Marks	Height-Difference	Method
SSM132545 SSM204695	-0.512	Trig. Heighting
SSM204695 SSM204694	-1.555	Trig. Heighting
SSM204694 SSM204693	-1.695	Trig. Heighting
SSM204690 SSM204687	-1.805	Trig. Heighting
SSM204687 SSM204684	1.750	Trig. Heighting
SSM204684 PM46088	25.171	Trig. Heighting
SSM204687 SSM204688	17.880	Trig. Heighting
SSM204688 SSM204689	1.205	Trig. Heighting
SSM204689 SSM204692	-12.805	Trig. Heighting
SSM204684 SSM204685	-7.340	Trig. Heighting
SSM204685 SSM204686	-6.825	Trig. Heighting
SSM204686 SSM204693	2.615	Trig. Heighting

Req:R519344 /Doc:DP 1211770 P /Rev:01-Nov-2018 /Prt:02-Nov-2018 03:30 /Seq:3 of 11
 Ref:lrs:eplan-eplan FOR SURVEYORS USE ONLY /src:w

(K) BENEFITED BY:
 - EASEMENT FOR SERVICES 4 WIDE (DP285400)
 - EASEMENT FOR SERVICES 4 AND 9 WIDE (DP285400)
 - EASEMENT FOR SUPPORT (DP864424)

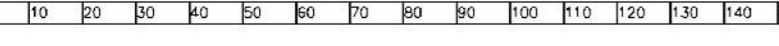
SURVEYOR
 Name: Ian Vincent Myers
 Date: 8th May, 2018.
 Reference: 16800-120

PLAN OF SUBDIVISION OF
 LOT 15 D.P.1203664 AND
 LOT 261 D.P.1237271

LGA: HAWKESBURY
 Locality: NORTH RICHMOND
 Reduction Ratio: 1500
 Lengths are in metres.

Registered:
 31.10.2018

DP1211770



SCHEDULE of PM LINES

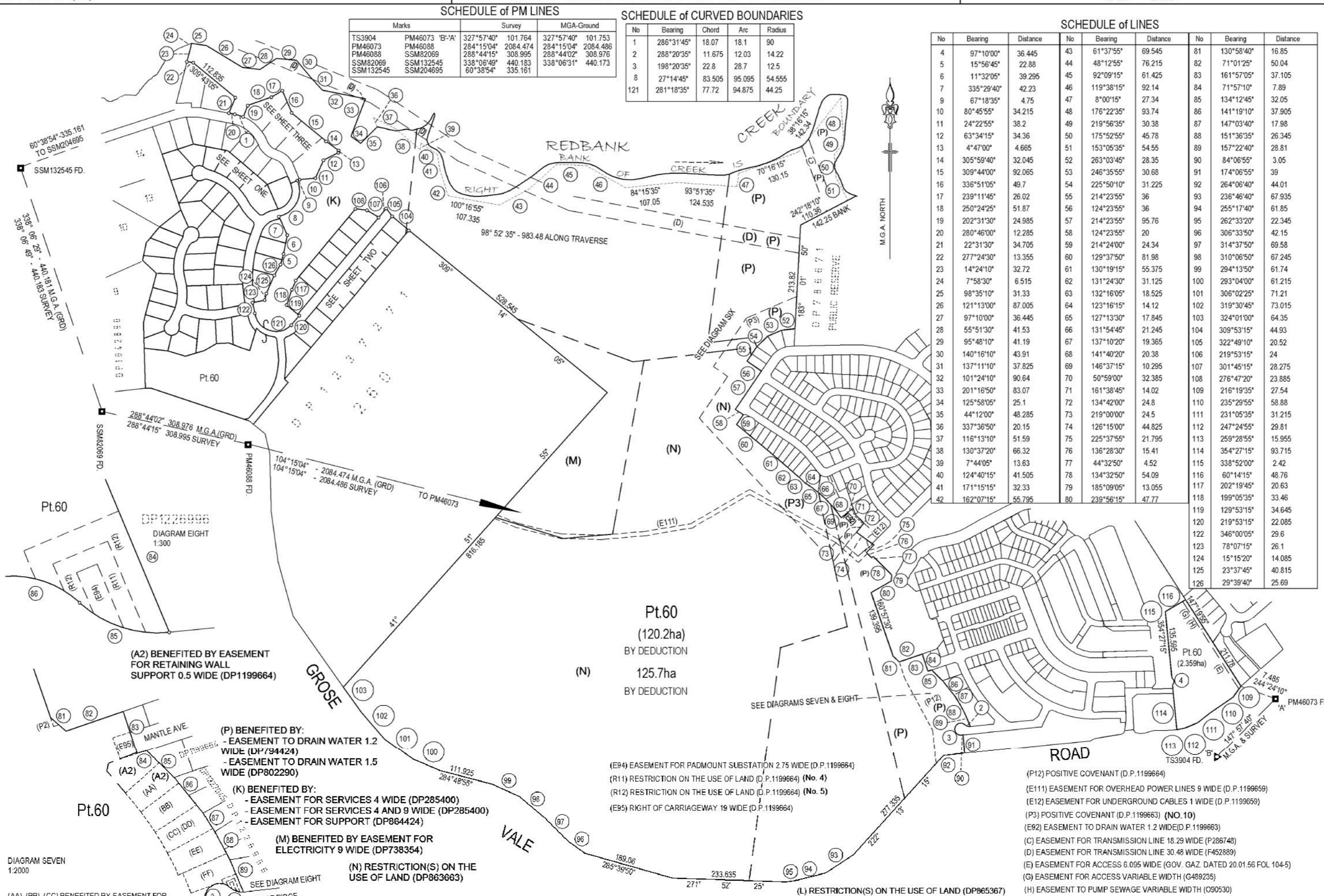
Marks	Survey	MGA-Ground
TS3904	PM46073 'B'-A'	327°57'40" 101.764 327°57'40" 101.753
PM46073	PM46088	284°15'04" 2084.474 284°15'04" 2084.486
PM46088	SSM82069	288°44'15" 308.995 288°44'02" 308.976
SSM82069	SSM132545	338°06'49" 440.183 338°06'31" 440.173
SSM132545	SSM204695	60°38'54" 335.161

SCHEDULE of CURVED BOUNDARIES

No	Bearing	Chord	Arc	Radius
1	286°31'45"	18.07	18.1	90
2	288°20'35"	11.675	12.03	14.22
3	198°20'35"	22.8	28.7	12.5
8	27°14'45"	83.505	95.095	54.555
121	281°18'35"	77.72	94.875	44.25

SCHEDULE of LINES

No	Bearing	Distance	No	Bearing	Distance	No	Bearing	Distance
4	97°10'00"	36.445	43	61°37'55"	69.545	81	130°58'40"	16.85
5	15°56'45"	22.88	44	48°12'55"	76.215	82	71°01'25"	50.04
6	11°32'05"	39.295	45	92°09'15"	61.425	83	161°57'05"	37.105
7	335°29'40"	42.23	46	119°38'15"	92.14	84	71°57'10"	7.89
9	67°18'35"	4.75	47	8°00'15"	27.34	85	134°12'45"	32.05
10	80°45'55"	34.215	48	176°22'35"	93.74	86	141°19'10"	37.905
11	24°22'55"	38.2	49	219°56'35"	30.38	87	147°03'40"	17.98
12	63°34'15"	34.36	50	175°52'55"	45.78	88	151°36'35"	26.345
13	4°47'00"	4.665	51	153°05'35"	54.55	89	157°22'40"	28.81
14	305°59'40"	32.045	52	263°03'45"	28.35	90	84°06'55"	3.05
15	309°44'00"	92.065	53	246°35'55"	30.68	91	174°06'55"	39
16	336°51'05"	49.7	54	225°50'10"	31.225	92	264°06'40"	44.01
17	239°11'45"	26.02	55	214°23'55"	36	93	236°46'40"	67.935
18	250°24'25"	51.87	56	124°23'55"	36	94	255°17'40"	61.85
19	202°31'30"	24.985	57	214°23'55"	95.76	95	262°33'20"	22.345
20	280°46'00"	12.285	58	124°23'55"	20	96	306°33'50"	42.15
21	22°31'30"	34.705	59	214°24'00"	24.34	97	314°37'50"	69.58
22	277°24'30"	13.355	60	129°37'50"	81.98	98	310°06'50"	67.245
23	14°24'10"	32.72	61	130°19'15"	55.375	99	294°13'50"	61.74
24	7°58'30"	6.515	62	131°24'30"	31.125	100	293°04'00"	61.215
25	98°35'10"	31.33	63	132°16'05"	18.525	101	306°02'25"	71.21
26	121°13'00"	87.005	64	123°16'15"	14.12	102	319°30'45"	73.015
27	97°10'00"	36.445	65	127°13'30"	17.845	103	324°01'00"	64.35
28	55°51'30"	41.53	66	131°54'45"	21.245	104	309°53'15"	44.93
29	95°48'10"	41.19	67	137°10'20"	19.365	105	322°49'10"	20.52
30	140°16'10"	43.91	68	141°40'20"	20.38	106	219°53'15"	24
31	137°11'10"	37.825	69	146°37'15"	10.295	107	301°45'15"	28.275
32	101°24'10"	90.64	70	50°59'00"	32.385	108	276°47'20"	23.885
33	201°16'50"	83.07	71	161°38'45"	14.02	109	216°19'35"	27.54
34	125°58'05"	25.1	72	134°42'00"	24.8	110	235°29'55"	58.88
35	44°12'00"	48.285	73	219°00'00"	24.5	111	231°05'35"	31.215
36	337°36'50"	20.15	74	126°15'00"	44.825	112	247°24'55"	29.81
37	116°13'10"	51.59	75	225°37'55"	21.795	113	259°28'55"	15.955
38	130°37'20"	66.32	76	136°28'30"	15.41	114	354°27'15"	93.715
39	7°44'05"	13.63	77	44°32'50"	4.52	115	338°52'00"	2.42
40	124°40'15"	41.505	78	134°32'50"	54.09	116	60°14'15"	48.76
41	171°15'15"	32.33	79	185°09'05"	13.055	117	202°19'45"	20.63
42	162°07'15"	55.795	80	239°56'15"	47.77	118	199°05'35"	33.46
						119	129°53'15"	34.645
						120	219°53'15"	22.085
						122	346°00'05"	29.6
						123	78°07'15"	26.1
						124	15°15'20"	14.085
						125	23°37'45"	40.815
						126	29°39'40"	25.69



(A2) BENEFITED BY EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE (DP1199664)

(P) BENEFITED BY:
 - EASEMENT TO DRAIN WATER 1.2 WIDE (DP794424)
 - EASEMENT TO DRAIN WATER 1.5 WIDE (DP802290)

(K) BENEFITED BY:
 - EASEMENT FOR SERVICES 4 WIDE (DP285400)
 - EASEMENT FOR SERVICES 4 AND 9 WIDE (DP285400)
 - EASEMENT FOR SUPPORT (DP864424)

(M) BENEFITED BY EASEMENT FOR ELECTRICITY 9 WIDE (DP738354)

(N) RESTRICTION(S) ON THE USE OF LAND (DP863663)

(E94) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE (D.P.1199664)
 (R11) RESTRICTION ON THE USE OF LAND (D.P.1199664) (No. 4)
 (R12) RESTRICTION ON THE USE OF LAND (D.P.1199664) (No. 5)
 (E95) RIGHT OF CARRIAGEWAY 19 WIDE (D.P.1199664)

(P12) POSITIVE COVENANT (D.P.1199664)
 (E111) EASEMENT FOR OVERHEAD POWER LINES 9 WIDE (D.P.1199659)
 (E12) EASEMENT FOR UNDERGROUND CABLES 1 WIDE (D.P.1199659)
 (P3) POSITIVE COVENANT (D.P.1199663) (NO.10)
 (E92) EASEMENT TO DRAIN WATER 1.2 WIDE (D.P.1199663)
 (C) EASEMENT FOR TRANSMISSION LINE 18.29 WIDE (P286748)
 (D) EASEMENT FOR TRANSMISSION LINE 30.48 WIDE (F452889)
 (E) EASEMENT FOR ACCESS 6.095 WIDE (GOV. GAZ. DATED 20.01.56 FOL 104-5)
 (G) EASEMENT FOR ACCESS VARIABLE WIDTH (G489235)
 (H) EASEMENT TO PUMP SEWAGE VARIABLE WIDTH (O90530)

DIAGRAM SEVEN 1:2000

(AA), (BB), (CC) BENEFITED BY EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE (D.P.1227045)

(DD), (EE), (FF) BENEFITED BY EASEMENT FOR RETAINING WALL SUPPORT 0.5 WIDE (D.P.1226996)

(P2) POSITIVE COVENANT (D.P.1156792)


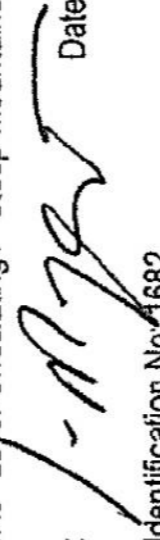

SURVEYOR
 Name: Ian Vincent Myers
 Date: 8th May, 2018.
 Reference: 18800-12C

PLAN OF SUBDIVISION OF
 LOT 15 D.P.1203664 AND
 LOT 261 D.P.1237271

LGA: HAWKESBURY
 Locality: NORTH RICHMOND
 Reduction Ratio: 5000
 Lengths are in metres.

Registered:
 31.10.2018

DP1211770

PLAN FORM 6 (2017)	DEPOSITED PLAN ADMINISTRATION SHEET	Sheet 1 of 8 ⁷ sheet(s)	Office Use Only
 Registered: 31.10.2018	<h1 style="margin: 0;">DP1211770</h1>		
Title System: TORRENS	LGA: HAWKESBURY Locality: NORTH RICHMOND Parish: KURRAJONG County: COOK		
PLAN OF SUBDIVISION OF LOT 15 DP1203664 AND LOT 261 DP1237271	 Crown Lands - NSW Western Lands Office Approval I, (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given. Signature: Date: File Number: Office: 		
Survey Certificate I, Ian Vincent Myers of Vince Morgan Surveyors Pty. Ltd. a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i> , certify that: *(a) The land shown in the plan was surveyed in accordance with the Surveying and Spatial Information Regulation 2017, is accurate and the survey was completed on *(b) The part of the land shown in the plan (being excluding ** Lot 60 was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i> , the part surveyed is accurate and the survey was completed on, 8 th May, 2018 the part not surveyed was compiled in accordance with that Regulation, or *(c) The land shown in this plan was compiled in accordance with the Surveying and Spatial Information Regulation 2017. Datum Line: 'A' - 'B' PM46073 TO TS3904 Type: *Urban/*Rural The terrain is *Level-Undulating / *Steep-Mountainous. Signature:  Dated: 8 th May, 2018. Surveyor Identification No: 1682 Surveyor registered under the <i>Surveying and Spatial Information Act 2002</i>	Subdivision Certificate I, IAN HASTIE *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein. Signature:  Accreditation number: Consent Authority: Hawkesbury City Council Date of endorsement: 03/10/18 Subdivision Certificate number: 18027 File number: DA0467115		
*Strike out inappropriate words. **Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.	*Strike through if inapplicable.		
Plans used in the preparation of survey/compilation: DP1199664 DP270329 DP1042890 DP1199659 DP1237271 DP1203662 DP1203663 DP1203664	Statements of intention to dedicate public roads, create public reserves and drainage reserves, acquire/resume land. IT IS INTENDED TO DEDICATE THE EXTENSION OF BELMONT GROVE, AND PROMONTORY ROAD, WHISPER PLACE, SCENIC WAY, SERENITY PLACE, OBSERVATION CLOSE AND THE SPLAY CORNERS TO THE PUBLIC AS PUBLIC ROAD.		
Surveyor's Reference: 16800-12C	Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A		

PLAN FORM 6A (2017) DEPOSITED PLAN ADMINISTRATION SHEET Sheet 2 of 7 sheet(s)



Registered: 31.10.2018

Office Use Only

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PLAN OF SUBDIVISION OF
LOT 15 DP1203664 AND
LOT 261 DP1237271

DP1211770

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
- Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
- Signatures and seals- see 195D Conveyancing Act 1919
- Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate number: 18027

Date of Endorsement: 03/10/18

PURSUANT TO SECTION 88b OF THE
CONVEYANCING ACT, 1919 IT
IS INTENDED TO CREATE:-

1. EASEMENT TO DRAIN WATER 3 WIDE (E1)
2. EASEMENT TO DRAIN WATER 3 WIDE (E2)
3. EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE (E3)
4. RESTRICTION ON THE USE OF LAND (R1)
5. RESTRICTION ON THE USE OF LAND (R2)
6. RESTRICTION ON THE USE OF LAND
7. RIGHT OF CARRIAGEWAY 25 WIDE (E4)
8. POSITIVE COVENANT
9. POSITIVE COVENANT
10. RESTRICTION ON THE USE OF LAND
11. RESTRICTION ON THE USE OF LAND
12. EASEMENT TO DRAIN WATER 3 WIDE (E104)
13. EASEMENT TO DRAIN WATER 3 WIDE (E105)
14. EASEMENT TO DRAIN WATER 3.5 WIDE (E106)
15. EASEMENT TO DRAIN WATER 3 WIDE (E107)
16. RESTRICTION ON THE USE OF LAND

If space is insufficient use additional annexure sheet

Surveyor's Reference:16800-12C

PLAN FORM 6A (2017) DEPOSITED PLAN ADMINISTRATION SHEET Sheet 3 of 7 sheet(s)

Office Use Only

Office Use Only

Registered:  31.10.2018

PLAN OF SUBDIVISION OF
 LOT 15 DP1203664 AND
 LOT 261 DP1237271

DP1211770

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) SS/ Regulation 2017
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 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate number:18027.....

Date of Endorsement:03/10/18.....

SCHEDULE OF STREET ADDRESSES

LOT NUMBER	STREET No.	STREET NAME	STREET TYPE	LOCALITY
1	86	BELMONT	GROVE	NORTH RICHMOND
2	2	WHISPER	PLACE	NORTH RICHMOND
3	4	WHISPER	PLACE	NORTH RICHMOND
4	6	WHISPER	PLACE	NORTH RICHMOND
5	8	WHISPER	PLACE	NORTH RICHMOND
6	10	WHISPER	PLACE	NORTH RICHMOND
7	12	WHISPER	PLACE	NORTH RICHMOND
8	11	WHISPER	PLACE	NORTH RICHMOND
9	9	WHISPER	PLACE	NORTH RICHMOND
10	7	WHISPER	PLACE	NORTH RICHMOND
11	5	WHISPER	PLACE	NORTH RICHMOND
12	3	WHISPER	PLACE	NORTH RICHMOND
13	1	WHISPER	PLACE	NORTH RICHMOND
14	90	BELMONT	GROVE	NORTH RICHMOND
15	92	BELMONT	GROVE	NORTH RICHMOND
16	96	BELMONT	GROVE	NORTH RICHMOND
17	2	SCENIC	WAY	NORTH RICHMOND
18	4	SCENIC	WAY	NORTH RICHMOND
19	6	SCENIC	WAY	NORTH RICHMOND
20	4	OBSERVATION	CLOSE	NORTH RICHMOND
21	6	OBSERVATION	CLOSE	NORTH RICHMOND
22	8	OBSERVATION	CLOSE	NORTH RICHMOND
23	10	OBSERVATION	CLOSE	NORTH RICHMOND
24	12	OBSERVATION	CLOSE	NORTH RICHMOND
25	11	OBSERVATION	CLOSE	NORTH RICHMOND
26	9	OBSERVATION	CLOSE	NORTH RICHMOND
27	7	OBSERVATION	CLOSE	NORTH RICHMOND
28	5	OBSERVATION	CLOSE	NORTH RICHMOND

If space is insufficient use additional annexure sheet

Surveyor's Reference:16800-12C

PLAN FORM 6A (2017) DEPOSITED PLAN ADMINISTRATION SHEET Sheet 4 of 7 sheet(s)

Office Use Only

Office Use Only

Registered:  31.10.2018

PLAN OF SUBDIVISION OF
 LOT 15 DP1203664 AND
 LOT 261 DP1237271

DP1211770

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
 - Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
 - Signatures and seals- see 195D Conveyancing Act 1919
 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate number:18927.....

Date of Endorsement:03/10/18.....

SCHEDULE OF STREET ADDRESSES

LOT NUMBER	STREET No.	STREET NAME	STREET TYPE	LOCALITY
29	3	OBSERVATION	CLOSE	NORTH RICHMOND
30	1	OBSERVATION	CLOSE	NORTH RICHMOND
31	2	SERENITY	PLACE	NORTH RICHMOND
32	4	SERENITY	PLACE	NORTH RICHMOND
33	5	SERENITY	PLACE	NORTH RICHMOND
34	3	SERENITY	PLACE	NORTH RICHMOND
35	7	SCENIC	WAY	NORTH RICHMOND
36	5	SCENIC	WAY	NORTH RICHMOND
37	3	SCENIC	WAY	NORTH RICHMOND
38	1	SCENIC	WAY	NORTH RICHMOND
39	97	BELMONT	GROVE	NORTH RICHMOND
40	95	BELMONT	GROVE	NORTH RICHMOND
41	93	BELMONT	GROVE	NORTH RICHMOND
42	91	BELMONT	GROVE	NORTH RICHMOND
43	119	BELMONT	GROVE	NORTH RICHMOND
44	117	BELMONT	GROVE	NORTH RICHMOND
45	116	BELMONT	GROVE	NORTH RICHMOND
46	113	BELMONT	GROVE	NORTH RICHMOND
47	111	BELMONT	GROVE	NORTH RICHMOND
48	109	BELMONT	GROVE	NORTH RICHMOND
49	107	BELMONT	GROVE	NORTH RICHMOND
50	104	BELMONT	GROVE	NORTH RICHMOND
51	106	BELMONT	GROVE	NORTH RICHMOND
52	108	BELMONT	GROVE	NORTH RICHMOND
53	110	BELMONT	GROVE	NORTH RICHMOND
54	112	BELMONT	GROVE	NORTH RICHMOND
55	114	BELMONT	GROVE	NORTH RICHMOND
56	116	BELMONT	GROVE	NORTH RICHMOND

If space is insufficient use additional annexure sheet

Surveyor's Reference:16800-12C

PLAN FORM 6A (2017) DEPOSITED PLAN ADMINISTRATION SHEET Sheet 5 of 7^{DP} sheet(s)

Registered:  31.10.2018 Office Use Only

Office Use Only

DP1211770

PLAN OF SUBDIVISION OF
 LOT 15 DP1203664 AND
 LOT 261 DP1237271

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
 - Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
 - Signatures and seals- see 195D Conveyancing Act 1919
 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

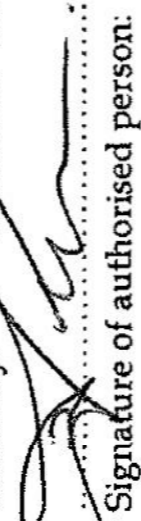
Subdivision Certificate number: 18027
 Date of Endorsement: 03/10/18

SCHEDULE OF STREET ADDRESSES

LOT NUMBER	STREET No.	STREET NAME	STREET TYPE	LOCALITY
57	118	BELMONT	GROVE	NORTH RICHMOND
58	120	BELMONT	GROVE	NORTH RICHMOND
59	122	BELMONT	GROVE	NORTH RICHMOND
60	NA			

Executed on behalf of the Corporation named below by the authorised persons whose signatures appear below pursuant to the authority specified.

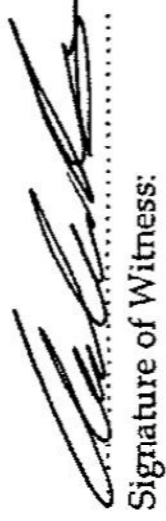
Corporation: Kemsley Pastoral Co. Pty Limited ACN 000 701 888
 Authority: Section 127 Corporations Act 2001


 Signature of authorised person:

David J Kerr
 Name of authorised person:
 Office held: Director / Secretary.


 Signature of authorised person:

STEPHEN WALSBY-HOLME
 Name of authorised person:
 Office held: Director


 Signature of Witness:

ANDREW FLAHERTY
 Name of Witness:

76 ARTHUR PHILLIP DRIVE
 Address of Witness NORTH RICHMOND
 NSW 2754

If space is insufficient use additional annexure sheet

Surveyor's Reference:16800-12C

PLAN FORM 6A (2017) DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 6 of 7 ^{DP} sheet(s)

Office Use Only

Office Use Only

Registered: 31.10.2018



DP1211770

PLAN OF SUBDIVISION OF
LOT 15 DP1203664 AND
LOT 261 DP1237271

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
 - Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
 - Signatures and seals- see 195D Conveyancing Act 1919
 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

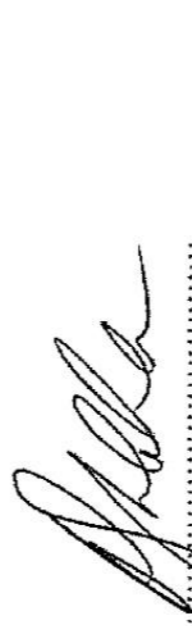
Subdivision Certificate number: 180277
Date of Endorsement: 03/10/18

Signed on behalf of BD NSW (MR) PROJECT
0007 Pty. Ltd. ACN 123 888 773 By its duly authorised
Attorney being duly authorised in this behalf (who by
their execution warrant that their appointment
has not been revoked) in the presence of:-



Signature of witness
ANDREW FLAHERTY

Name of witness
76 ARTHUR PHILLIP DRIVE
Address of witness NORTH RICHMOND
NSW 2754



Signature of Attorney
Melinda Graham

Name of Attorney
Power of Attorney
dated: 14.10.14
Book 4676 No. 327

National Australia Bank Limited ACN 004 044 937
Executed by its Level 2 Attorney ..DAMIEL M.L.L.A.R.
Under Power of Attorney No ...39...Book 4572
this ...18... Day of ...OCTOBER... 2018



(By executing this instrument the Attorney states that the Attorney has
received no notice of the revocation of the Power of Attorney)



(Signature of Witness) KEVIN KIM
ASSOCIATE

(Name of Witness) 255 GEORGE ST SYDNEY NSW 2000
(Address of Witness)

If space is insufficient use additional annexure sheet

Surveyor's Reference:16800-12C

PLAN FORM 6A (2017) DEPOSITED PLAN ADMINISTRATION SHEET Sheet 7 of 7 sheet(s)

Office Use Only

Office Use Only



Registered: 31.10.2018

PLAN OF SUBDIVISION OF
LOT 15 DP1203664 AND
LOT 261 DP1237271

DP1211770

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
 - Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
 - Signatures and seals- see 195D Conveyancing Act 1919
 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate number: 18027
Date of Endorsement: 03/10/18

Signed by Margaret Peel
as Lessee under Lease AN258498T
by her duly appointed Attorney/s
under Power of Attorney Book. 4601 No.38
who states that he/she has received no notice of
revocation of the Power of Attorney in the presence of

Margaret Peel

Signature of Attorney (1)

.....*MARGARET PEEL*.....

Name of Attorney (1)

Andren Flaherty

Signature of witness (1)

.....*ANDREN FLAHERTY*.....

Name of witness (1)

76 ARTHUR PHILLIP DRIVE

.....*NORTH RICHMOND*
Address of witness (1) *NSW 2754*

Andren Flaherty

Signature of witness (2)

.....*ANDREN FLAHERTY*.....

Name of Attorney (2)

76 ARTHUR PHILLIP DRIVE

.....*NORTH RICHMOND*
Address of witness (2) *NSW 2754*

If space is insufficient use additional annexure sheet

Surveyor's Reference:16800-12C