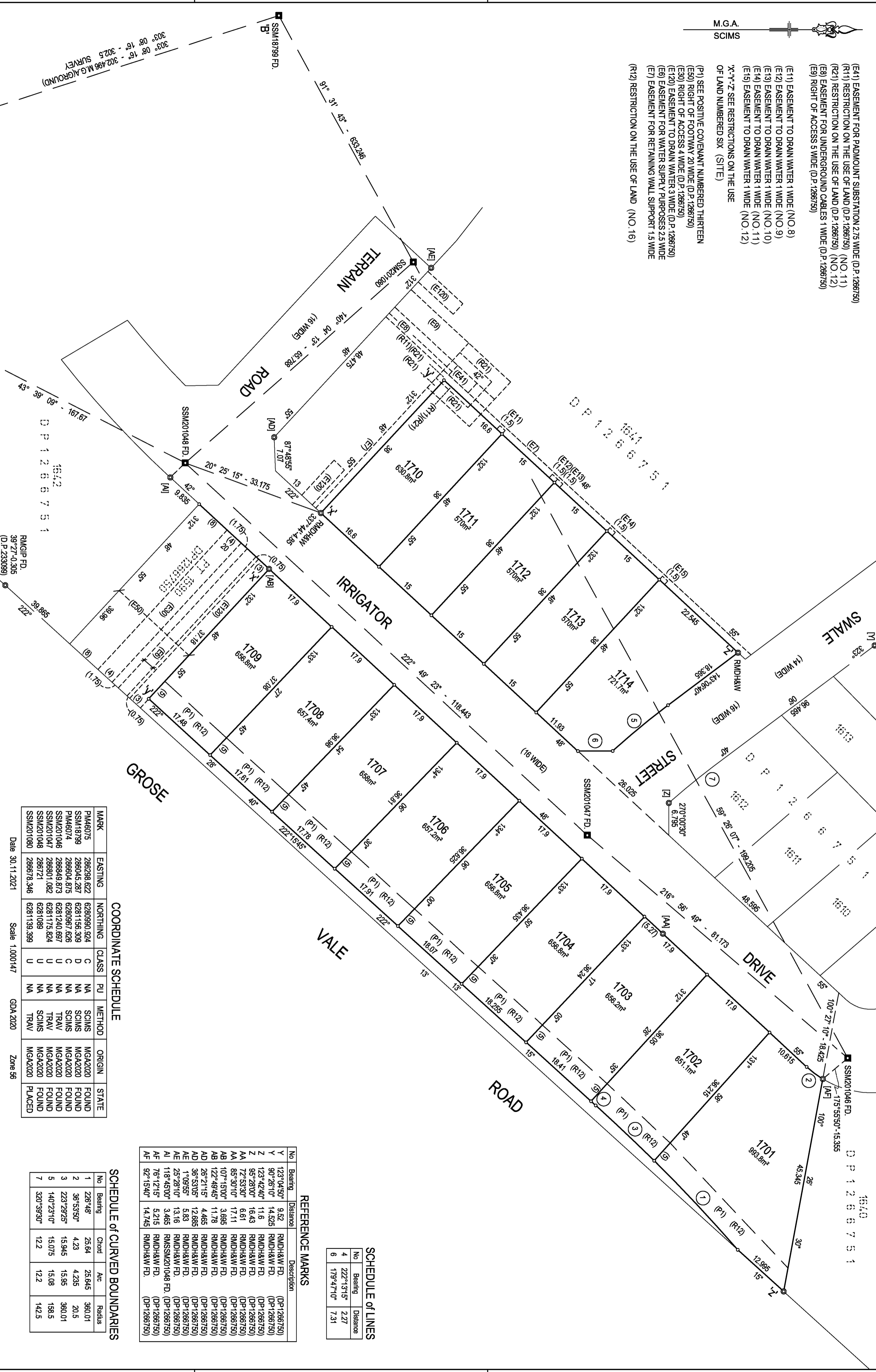


- (E4) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE (D.P. 1266750)
- (R1) RESTRICTION ON THE USE OF LAND (D.P. 1266750) (NO. 11)
- (R2) RESTRICTION ON THE USE OF LAND (D.P. 1266750) (NO. 12)
- (E8) EASEMENT FOR UNDERGROUND CABLES 1 WIDE (D.P. 1266750)
- (E9) RIGHT OF ACCESS 5 WIDE (D.P. 1266750)
- (E1) EASEMENT TO DRAIN WATER 1 WIDE (NO. 8)
- (E2) EASEMENT TO DRAIN WATER 1 WIDE (NO. 9)
- (E3) EASEMENT TO DRAIN WATER 1 WIDE (NO. 10)
- (E4) EASEMENT TO DRAIN WATER 1 WIDE (NO. 11)
- (E5) EASEMENT TO DRAIN WATER 1 WIDE (NO. 12)
- X-Y-Z SEE RESTRICTIONS ON THE USE OF LAND NUMBERED SIX (SITE)
- (P) SEE POSITIVE COVENANT NUMBERED THIRTEEN
- (E9) RIGHT OF FOOTWAY 20 WIDE (D.P. 1266750)
- (E30) RIGHT OF ACCESS 4 WIDE (D.P. 1266750)
- (E120) EASEMENT TO DRAIN WATER 3 WIDE (D.P. 1266750)
- (E6) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE
- (E7) EASEMENT FOR RETAINING WALL SUPPORT 1.5 WIDE
- (R12) RESTRICTION ON THE USE OF LAND (NO. 16)



SURVEYOR
 Name: Peter Robert Warwick
 Date: 4th February, 2022.
 Reference: 18800-47C

PLAN OF SUBDIVISION OF LOT 1592 DP1266750
 AND EASEMENTS OVER LOT 1641 D.P.1266751 AND
 LOT 1590 D.P.1266750

L.G.A: HAWKESBURY
 Locality: NORTH RICHMOND
 Reduction Ratio: 1:500
 Lengths are in metres

REGISTERED
 26/05/2022

DP1266752

COORDINATE SCHEDULE

MARK	EASTING	NORTHING	CLASS	PU	METHOD	ORIGIN	STATE
PM46075	286298.622	6280990.924	C	NA	SCIMS	MG42020	FOUND
SSM18799	286045.287	6281156.398	D	NA	SCIMS	MG42020	FOUND
PM46074	286504.873	6280967.626	C	NA	SCIMS	MG42020	FOUND
SSM201046	286849.873	6281240.897	U	NA	TRAV	MG42020	FOUND
SSM201047	286801.082	6281175.824	U	NA	SCIMS	MG42020	FOUND
SSM201048	286721	6281089	U	NA	SCIMS	MG42020	FOUND
SSM201080	286678.346	6281139.399	U	NA	TRAV	MG42020	PLACED

Date 30.11.2021 Scale 1,000/147 GDA 2020 Zone 56

SCHEDULE of CURVED BOUNDARIES


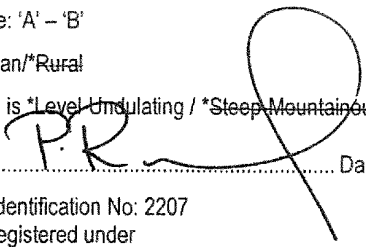

No	Bearing	Chord	Arc	Radius
1	226°48'	25.64	25.645	360.01
2	36°53'50"	4.23	4.235	20.5
3	223°29'25"	15.945	15.95	360.01
5	140°23'10"	15.075	15.08	158.5
7	320°39'30"	12.2	12.2	142.5

REFERENCE MARKS


No	Bearing	Distance	Description
Y	123°04'50"	9.52	RMDH&W FD. (DP1266750)
Y	90°28'10"	14.525	RMDH&W FD. (DP1266750)
Z	123°42'40"	11.6	RMDH&W FD. (DP1266750)
Z	95°28'00"	16.43	RMDH&W FD. (DP1266750)
AA	72°53'30"	6.61	RMDH&W FD. (DP1266750)
AA	85°30'10"	17.11	RMDH&W FD. (DP1266750)
AB	107°15'00"	3.695	RMDH&W FD. (DP1266750)
AB	122°49'45"	11.78	RMDH&W FD. (DP1266750)
AD	26°21'15"	4.465	RMDH&W FD. (DP1266750)
AD	36°53'05"	12.885	RMDH&W FD. (DP1266750)
AE	1°09'55"	5.83	RMDH&W FD. (DP1266750)
AE	25°28'10"	13.16	RMDH&W FD. (DP1266750)
AI	118°45'00"	3.465	RMSM201048 FD. (DP1266750)
AF	76°12'15"	5.215	RMDH&W FD. (DP1266750)
AF	92°15'40"	14.745	RMDH&W FD. (DP1266750)

SCHEDULE of LINES

No	Bearing	Distance
4	222°13'15"	2.27
6	179°47'10"	7.31

PLAN FORM 6 (2017)	DEPOSITED PLAN ADMINISTRATION SHEET	Sheet 1 of 4 sheet(s)
Office Use Only Registered:  26/05/2022 Title System: TORRENS	Office Use Only <h1 style="text-align: center;">DP1266752</h1>	
PLAN OF SUBDIVISION OF LOT 1592 D.P.1266750 AND EASEMENTS OVER LOT 1641 D.P.1266751 & LOT 1590 D.P.1266750	LGA: HAWKESBURY Locality: NORTH RICHMOND Parish: KURRAJONG County: COOK	
<p style="text-align: center;">Survey Certificate</p> I, Peter Robert Warwick of Vince Morgan Surveyors Pty. Ltd. a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i> , certify that: *(a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i> , is accurate and the survey was completed on 4/02/2022, or *(b) The part of the land shown in the plan (*being/excluding) was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i> , the part surveyed is accurate and the survey was completed on, the part not surveyed was compiled in accordance with that Regulation. *(c) The land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation 2017</i> . Datum Line: 'A' - 'B' Type: *Urban/*Rural The terrain is *Level Undulating / *Steep Mountainous. Signature:  Dated: 4/02/2022 Surveyor Identification No: 2207 Surveyor registered under the <i>Surveying and Spatial Information Act 2002</i>	<p style="text-align: center;">Crown Lands NSW/Western Lands Office Approval</p> I, (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given. Signature: Date: File Number: Office:	
*Strike out inappropriate words. **Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.	<p style="text-align: center;">Subdivision Certificate</p> I, <u>Simon Huang</u> *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of section 6.15 <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein. Signature:  Accreditation number: Consent Authority: <u>Hawkesbury City Council</u> Date of endorsement: <u>17 May 2022</u> Subdivision Certificate number: <u>SP0003/22</u> File number: <u>DA0498/18</u> *Strike through if inapplicable.	
Plans used in the preparation of survey/compilation: DP1263276 DP1266750 DP1266751	Statements of intention to dedicate public roads, create public reserves and drainage reserves, acquire/resume land.	
Surveyor's Reference: 16800-17C	Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A	

PLAN FORM 6A (2017) DEPOSITED PLAN ADMINISTRATION SHEET Sheet 2 of 4 sheet(s)

Registered:  26/05/2022 Office Use Only

Office Use Only

**PLAN OF SUBDIVISION
OF LOT1592 D.P.1266750
AND EASEMENTS OVER
LOT 1641 D.P.1266751 & LOT 1590 D.P.1266750**

DP1266752

Subdivision Certificate number: SC0003/22
Date of Endorsement: 17/5/2022


- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) *SSI Regulation 2017*
 - Statements of intention to create and release affecting interests in accordance with section 88B *Conveyancing Act 1919*
 - Signatures and seals- see 195D *Conveyancing Act 1919*
 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

- PURSUANT TO SECTION 88b OF THE CONVEYANCING ACT, 1919 IT IS INTENDED TO CREATE:-
1. POSITIVE COVENANT
 2. RESTRICTION ON THE USE OF LAND
 3. POSITIVE COVENANT
 4. POSITIVE COVENANT
 5. RESTRICTION ON THE USE OF LAND
 6. RESTRICTION ON THE USE OF LAND
 7. EASEMENT FOR RETAINING WALL SUPPORT 1.5 WIDE (E7)
 8. EASEMENT TO DRAIN WATER 1 WIDE (E11)
 9. EASEMENT TO DRAIN WATER 1 WIDE (E12)
 10. EASEMENT TO DRAIN WATER 1 WIDE (E13)
 11. EASEMENT TO DRAIN WATER 1 WIDE (E14)
 12. EASEMENT TO DRAIN WATER 1 WIDE (E15)
 13. POSITIVE COVENANT (P1)
 14. EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (E6)
 15. RESTRICTION ON THE USE OF LAND
 16. RESTRICTION ON THE USE OF LAND (R12)

If space is insufficient use additional annexure sheet

Surveyor's Reference: 16800-17C

PLAN FORM 6A (2017) DEPOSITED PLAN ADMINISTRATION SHEET Sheet 3 of 4 sheet(s)

Registered:  26/05/2022

Office Use Only

Office Use Only

PLAN OF SUBDIVISION
 OF LOT 1592 D.P.1266750
 AND EASEMENTS OVER
 LOT 1641 D.P.1266751 & LOT 1590 D.P.1266750

DP1266752

Subdivision Certificate number: SC0003/22
 Date of Endorsement: 17/5/2022

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) *SSI Regulation 2017*
 - Statements of intention to create and release affecting interests in accordance with section 88B *Conveyancing Act 1919*
 - Signatures and seals- see 195D *Conveyancing Act 1919*
 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.


SCHEDULE OF STREET ADDRESSES

LOT No.	ADDRESS No.	ROAD NAME	ROAD TYPE	LOCALITY
1701	33	IRRIGATOR	DRIVE	NORTH RICHMOND
1702	35	IRRIGATOR	DRIVE	NORTH RICHMOND
1703	37	IRRIGATOR	DRIVE	NORTH RICHMOND
1704	39	IRRIGATOR	DRIVE	NORTH RICHMOND
1705	41	IRRIGATOR	DRIVE	NORTH RICHMOND
1706	43	IRRIGATOR	DRIVE	NORTH RICHMOND
1707	45	IRRIGATOR	DRIVE	NORTH RICHMOND
1708	47	IRRIGATOR	DRIVE	NORTH RICHMOND
1709	49	IRRIGATOR	DRIVE	NORTH RICHMOND
1710	38	IRRIGATOR	DRIVE	NORTH RICHMOND
1711	36	IRRIGATOR	DRIVE	NORTH RICHMOND
1712	34	IRRIGATOR	DRIVE	NORTH RICHMOND
1713	32	IRRIGATOR	DRIVE	NORTH RICHMOND
1714	30	IRRIGATOR	DRIVE	NORTH RICHMOND

If space is insufficient use additional annexure sheet

Surveyor's Reference: 16800-17C

PLAN FORM 6A (2017) DEPOSITED PLAN ADMINISTRATION SHEET Sheet 4 of 4 sheet(s)

Registered:  26/05/2022

Office Use Only

Office Use Only

PLAN OF SUBDIVISION
OF LOT 1592 D.P.1266750
AND EASEMENTS OVER
LOT 1641 D.P.1266751 & LOT 1590 D.P.1266750

DP1266752


Subdivision Certificate number: SC0003/22
Date of Endorsement: 17/5/2022

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
 - Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
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 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Signed on behalf of BD NSW (MR) PROJECT
O007 Pty. Ltd. ACN 123 888 773
By its duly authorised Attorney
being duly authorised in this behalf (who by
their execution warrant that their appointment
has not been revoked) in the presence of:-


.....
Signature of witness

CALLUM GRACIE
.....
Name of witness


.....
Signature of Attorney

MELINDA GRAHAM
.....
Name of Attorney

76 ARTHUR PHILLIP DRIVE, NORTH RICHMOND
Address of witness NSW 2754


Power of Attorney
dated: 14 OCTOBER 2014
Book 4676 No. 327


National Australia Bank Limited ACN 004 044 937

Executed by its Level 2 Attorney TILLIE WILSON

Under Power of Attorney No 4152 No. 39

this 20th Day of May 2022


.....
(By executing this instrument the Attorney states that the Attorney has
received no notice of the revocation of the Power of Attorney)


.....
(Signature of Witness)

CALLUM GRACIE
.....
(Name of Witness)

76 ARTHUR PHILLIP DRIVE, NORTH RICHMOND, NSW, 2754
(Address of Witness)

If space is insufficient use additional annexure sheet

Surveyor's Reference: 16800-17C